



To: Prospective Bidders
From: Wold Architects and Engineers
Date: October 23, 2019
Comm. No: 193033

Subject: Addendum No. 1 for Bidding Documents for the

BIDS DUE OCTOBER 29, 2019 AT 11:30 A.M.

This addendum forms a part of the Contract Documents dated October 4, 2019. Acknowledge receipt of this Addendum on the space provided on the Bid Form. Failure to do so may result in disqualification of Bid.

This Addendum consists of two (2) typed sheet and attachments:

Specification Sections: 05 50 00 Metal Fabrications

Drawings Sheets: Sheet A2.01 – Floor Plans, Sheet A5.01 – Demolition Elevations, Sheet A5.02 – Demolition Elevations, Sheet A5.11 – Exterior Elevations, Sheet A5.12 – Exterior Elevations, Sheet A5.52 – Details, Sheet A5.53 – Details

PROJECT MANUAL

1. 05 50 00 – METAL FABRICATIONS

- A. Reissued this Addendum to remove stair handrail scope

DRAWINGS

1. SHEET A2.01 – FLOOR PLANS

- A. Reissued this Addendum to remove stair handrail scope and show window treatment notes

2. SHEET A5.01 – DEMOLITION ELEVATIONS

- A. Reissued this Addendum to remove stair handrail scope

3. SHEET A5.02 – DEMOLITION ELEVATIONS

- A. Reissued this Addendum to remove stair handrail scope

4. SHEET A5.11 – EXTERIOR ELEVATIONS

- A. Reissued this Addendum to remove stair handrail scope

5. SHEET A5.12 – EXTERIOR ELEVATIONS

- A. Reissued this Addendum to remove stair handrail scope

6. SHEET A5.52 – DETAILS

- A. Reissued this Addendum to show aluminum trim at window head



7. **SHEET A5.53 – DETAILS**

- A. Reissued this Addendum to remove stair handrail scope

END OF ADDENDUM #1

SECTION 05 50 00

METAL FABRICATIONS

PART 1: GENERAL

1.01 RELATED DOCUMENTS

- A. Drawings, Details of Construction and general provisions of Contract, including General and Supplementary Conditions and Division-1 Specification Sections, apply to work specified in this section.

1.02 SUMMARY

- A. Section includes: All labor, material necessary to complete all items of miscellaneous metal as listed on the schedule in Part 2 and shown on the Drawings.
1. The design, fabrication, transportation to the project site, and associated operations required to complete miscellaneous metals, including all the various metal items manufactured to more or less standard details in sizes conforming to specific requirements of the project.

1.03 REFERENCE STANDARDS

- A. The following specifications and standards are incorporated by reference. Materials and operations shall comply with requirements of the specified issue of published reference. Where provisions of these Project Specifications are at variance with those reference specifications, the maximum criteria or requirements shall govern.
1. ASTM A36-03a, "Carbon Structural Steel"
 2. ASTM A53-02, "Pipe, Steel, Black and Hot-Dipped, Zinc-Coated, Welded and Seamless"
 3. ASTM A123-02, "Zinc (Hot-Dip Galvanized) Coatings on Iron and Steel Products"
 4. ASTM A307-02, "Carbon Steel Bolts and Studs, 60,000 PSI Tensile Strength"
 5. ASTM A325-02, "Structural Bolts, Steel, Heat Treated, 120/105 KSI Minimum Tensile Strength"
 6. ASTM A500-03, "Cold-Formed Welded and Seamless Carbon Steel Structural Tubing in Rounds and Shapes"
 7. ASTM A563-00, "Carbon and Alloy Steel Nuts"
 8. ASTM A666-00, "Annealed or Cold-Worked Austenitic Stainless Steel Sheet, Strip, Plate, and Flat Bar"
 9. ASTM A992-02, "Steel for Structural Shapes for Use in Building Framing"
 10. ASTM F1554-99, "Anchor Bolts, Steel, 36, 55, and 105-ksi Yield Strength"
 11. AWS D1.1-2002, "Structural Steel Welding Code"

1.04 SUBMITTALS

- A. Submit in accordance with Section 01 33 00.
1. Shop drawings required for all items. Show all work to be fabricated with all construction details shown in appropriate scale, methods of attachment to other materials, finished dimensions, shop welds and grinding of

welds, field assembly joints, etc. Indicate welded connections, including net weld lengths, using standard AWS welding symbols.

2. Calculations: Accompany shop drawings with a complete structural design and analysis prepared and certified by a Professional Engineer (P.E.) licensed in the State in which the project is located. The design and analysis shall show all design loads, reactions, forces or stresses, and structural characteristics of members and connections for the items listed in section 2.01.B. Include a certified letter stating that shop drawings as submitted conform to the requirements on the design calculations.
3. Coordinate work with other suppliers and subcontractors; obtain their approved shop drawing where necessary, or obtain any necessary additional detail information regarding mounting conditions or other aspects of related work.

1.05 PRODUCT PROTECTION

- A. Package, handle, deliver and store at the job site in a manner that will avoid damage or deformation. Damaged material will be rejected.
- B. Furnish items to be built into concrete, masonry, carpentry, etc. as the work progresses.

1.06 JOB CONDITIONS

- A. Verify dimensions in field, as required, for pre-cut or prefabricated items.
- B. Examine job conditions and adjoining construction which may affect the acceptability of the work.

PART 2: PRODUCTS

2.01 DESIGN

- A. All materials shall be free from defects impairing strength, durability, appearance, and shall be of the best commercial quality for the purposes indicated. Structural properties shall be such to withstand safely all strains and stresses to which they will be normally subjected.
- B. Items specified in this section shall be designed to resist self-weight and the more stringent of:
 1. Superimposed Dead and Live Loads indicated on the Contract Documents, and
 2. Loads set forth by the governing Building Code.
- C. The maximum Live Load deflection shall be $L/360$. Deflection determined based on structural section(s) alone.

2.02 MATERIALS

- A. Structural Steel: ASTM A36 or A992.
- B. Fastenings: Bolts, welds, rivets or other fastenings as required.
- C. Anchor Bolts, Nuts: ASTM F1554, Grade 36.
- D. Steel Pipe: ASTM A53, Grade B.
- E. Steel Tubing: ASTM A500 Grade B.

- F. Shop Paint Primer: Manufacturer's standard rust inhibiting primer.
- G. Galvanizing: ASTM A123.
- H. Galvanizing Repair Compound: Galvilite as manufactured by ZRC Worldwide.
- I. Expansion and Adhesive Anchors.
 - 1. Wedge Anchors: Hilti "Kwik Bolt II" or Ramset/Redhead "Trubolt" or equal.
 - 2. Heavy Duty Sleeve Anchors: Hilti "HSL" or equal.
 - 3. Adhesive Anchors: Hilti "HVA" or "HIT", Ramset/Redhead "EPCON" or equal.

~~J. End Caps for Railings: R & B Wagner, Inc. Type "C."~~

~~K. Escutcheon for Handrail Supports: R & B Wagner, Inc., plain flange with setscrew #2041, 3 1/4" diameter with 3/4" diameter hole.~~

~~L. Plaster Filler for Handrail Bracket: R & B Wagner, Inc., #3530 or #3530B for 1 1/2" OD pipe.~~

~~M. Escutcheon for Guardrail: R & B Wagner, Inc., #637-10GA steel.~~

~~N. Optional 3/4" steel rod for stair rail bracket: Wagner #R170, 3/4" dia. bar bend.~~

2.03 GENERAL REQUIREMENTS FOR FABRICATION

- A. Weld permanent connections wherever possible; use continuous welds where exposed and grind smooth, straighten members after welding.
- B. Perform welding in accordance with AWS D1.1.
- C. Perform shop cutting, drilling, fitting and assembly wherever possible. Take field measurements before fabrication when required.
- D. Provide all supporting members, fasteners, framing, hangers, bracing, brackets, straps, bolts, angles, etc. required to set, connect the work rigidly and properly to other construction.
- ~~E. Install welded end caps at all handrail terminations.~~
- F. At all areas of exposed steel that is to receive a finish:
 - 1. Piece marks hidden: Fabricate such that piece marks are fully hidden in the final structure or made with such media to permit full removal after erection.
 - 2. Mill mark removal: Deliver steel with no mill marks (stenciled, stamped, raised, etc) in exposed locations. Omit mill marks by cutting of mill material to appropriate lengths where possible. Where not possible, fill and/or grind to a surface finish consistent with the adjacent material.

2.04 SHOP COATS PROTECTIVE TREATMENT

- A. Clean free of all mill scale, rust and foreign matter by wire brushing, scraping, sandblasting or flame cleaning. Remove grease, oil with solvent. Dust, dirt: Remove with air blast or brush.
- B. Apply one shop coat of specified primer to all ferrous metal products, except galvanized. Provide primer for field touch up. Be responsible for quality and adhesion of shop prime finish.

- C. Hot-dip galvanize all ferrous metal items exposed to weather in the finish work and shop prime with primer recommended for use on galvanized metal.

2.05 SCHEDULE OF MISCELLANEOUS METAL ITEMS

- A. Items listed in this Section are intended only as a guide, but do not relieve responsibility for verifying quantities and inclusion of all similar items. Thoroughly examine all Drawings for items of miscellaneous metal fabrications.

- ~~1. Steel handrails and guardrails – Alternate #1.~~
- 2. Overhead door corner guards – Alternate #1.
- 3. Overhead door frames – Alternate #1.
- 4. Other miscellaneous metal items shown on Drawings.

PART 3: EXECUTION

3.01 INSTALLATION GENERAL REQUIREMENTS

- A. Anchor to concrete and masonry with expansion or adhesive anchors where built-in anchorage is not provided; do not fasten to wood plugs set in masonry.
- B. Vertical members set into concrete or masonry: As shown.
- C. Bolts, screws, etc., for field connections: Same material, finish as base material.

3.02 FIELD SPLICES, WELDS

- A. Perform field welding in accordance with AWS D1.1.
- B. Welders shall be certified by AWS.
- C. Continuously weld field splices and grind smooth where exposed to view.
- D. Fill exposed splice joints with body filler and sand smooth.
- E. Touch-up joints, welds with specified primer.
- F. Touch-up damaged hot dipped galvanizing with Galvanizing Repair Compound per manufacturer's requirements.

3.03 FIELD QUALITY CONTROL

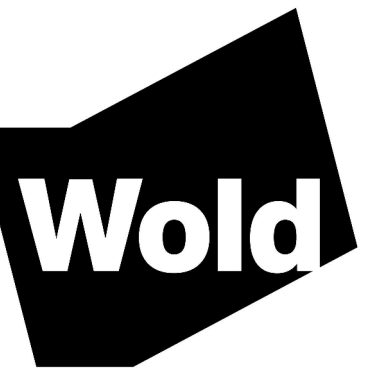
- A. Structural Testing and Special Inspection
 - 1. The Owner will employ a Special Inspector for the following:
 - a. Visual inspect 100% of all fillet welds, for size, length, and quality, per AWS D1.1. Qualifications: Technical II.

END OF SECTION 05 50 00

**Administration
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Davenport, IA 52801

Scott County
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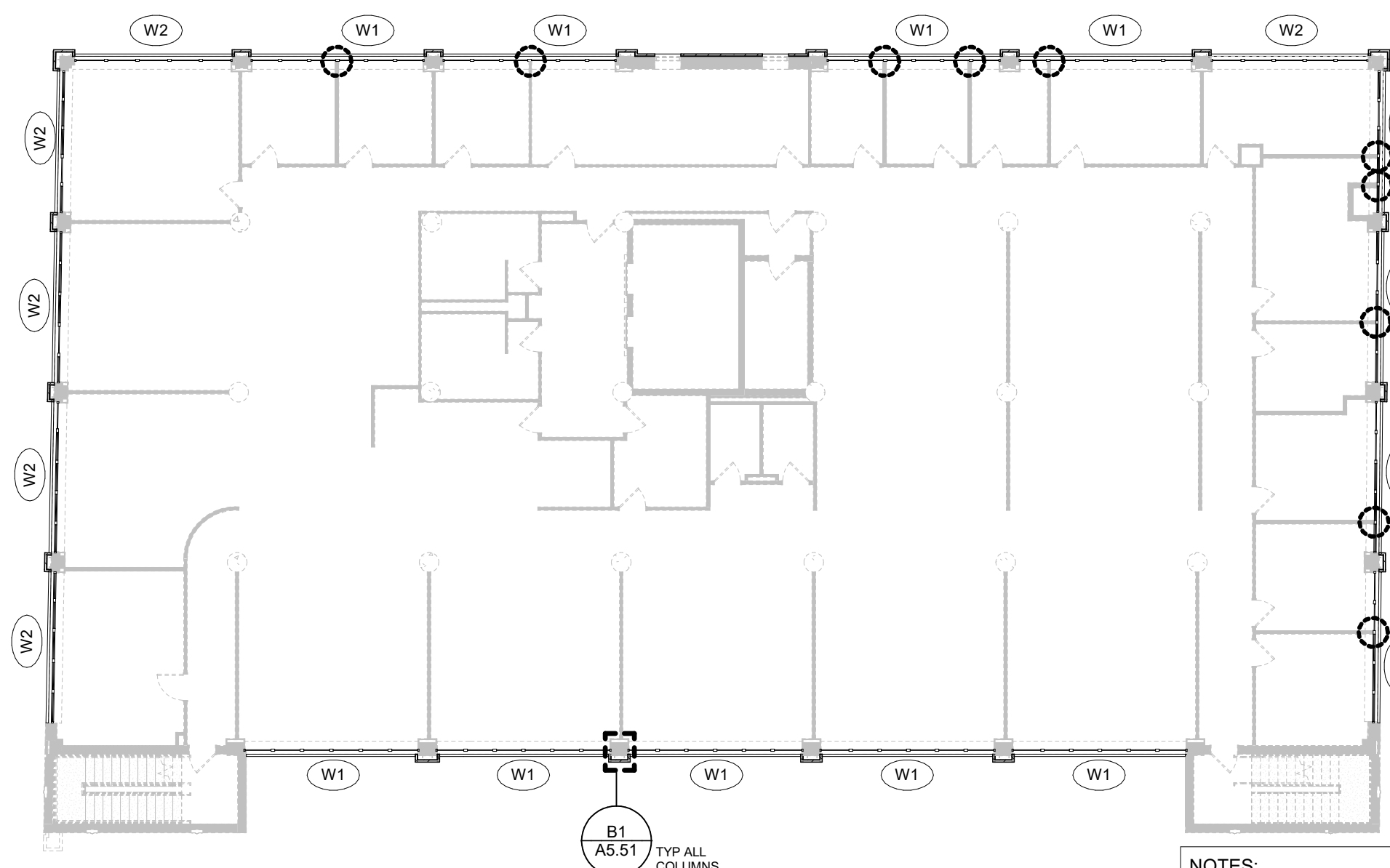


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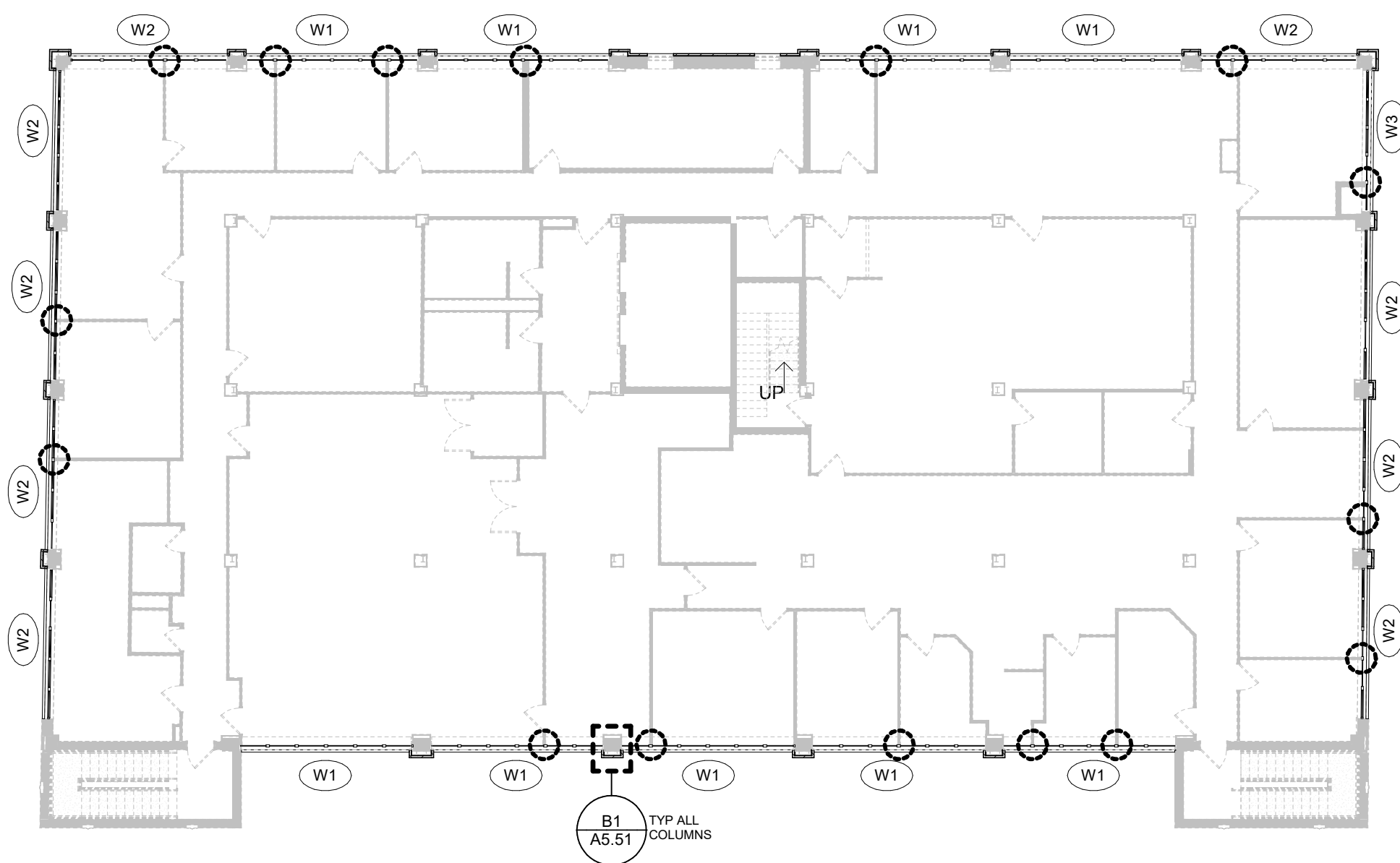
FLOOR PLAN GENERAL NOTES

1. CONTRACTOR RESPONSIBLE FOR PROTECTING ALL FURNITURE, FIXTURES AND EQUIPMENT AS REQUIRED TO INSTALL NEW CONSTRUCTION.
2. AT EXTERIOR DOORS/FRAMES THE CONTRACTOR SHALL PROVIDE WEATHER-TIGHT AND SECURE ENCLOSURES AS NECESSARY TO PROTECT AND SECURE THE BUILDING AND ITS CONTENTS. ENCLOSURES SHALL TYPICALLY BE OF WOOD AND 3/4" PLYWOOD SHEETING OR BETTER. ENCLOSURES CONSISTING OF PLASTIC SHEETING OR SIMILAR MATERIALS ARE NOT ACCEPTABLE. SURFACES OR MATERIALS DAMAGED BY INSTALLATION OF ENCLOSURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
3. CONTRACTOR RESPONSIBLE FOR PATCHING, REPAIRING, OR REPLACING ANY AND ALL INTERIOR FINISHES DAMAGED DUE TO CONSTRUCTION ACTIVITIES.
4. CONTRACTOR TO MOVE FURNITURE AND EQUIPMENT IN LOCATIONS WHERE WINDOWS ARE TO BE INSTALLED AND SEALED. CONTRACTOR RESPONSIBLE FOR SCHEDULING FURNITURE AND EQUIPMENT TO BE MOVED WITH THE OWNER AND IS TO MOVE THE FURNITURE AND EQUIPMENT BACK UPON COMPLETION OF WINDOW INSTALLATION.
5. EXISTING EXPOSED AGGREGATE PANELS TESTED FOR ASBESTOS BY OWNER'S SEPARATE CONTRACTOR. PANELS WERE FOUND TO BE NON-ASBESTOS CONTAINING.
6. REMOVE, STORE AND REINSTALL WINDOW TREATMENTS AS REQUIRED BY NEW WORK.



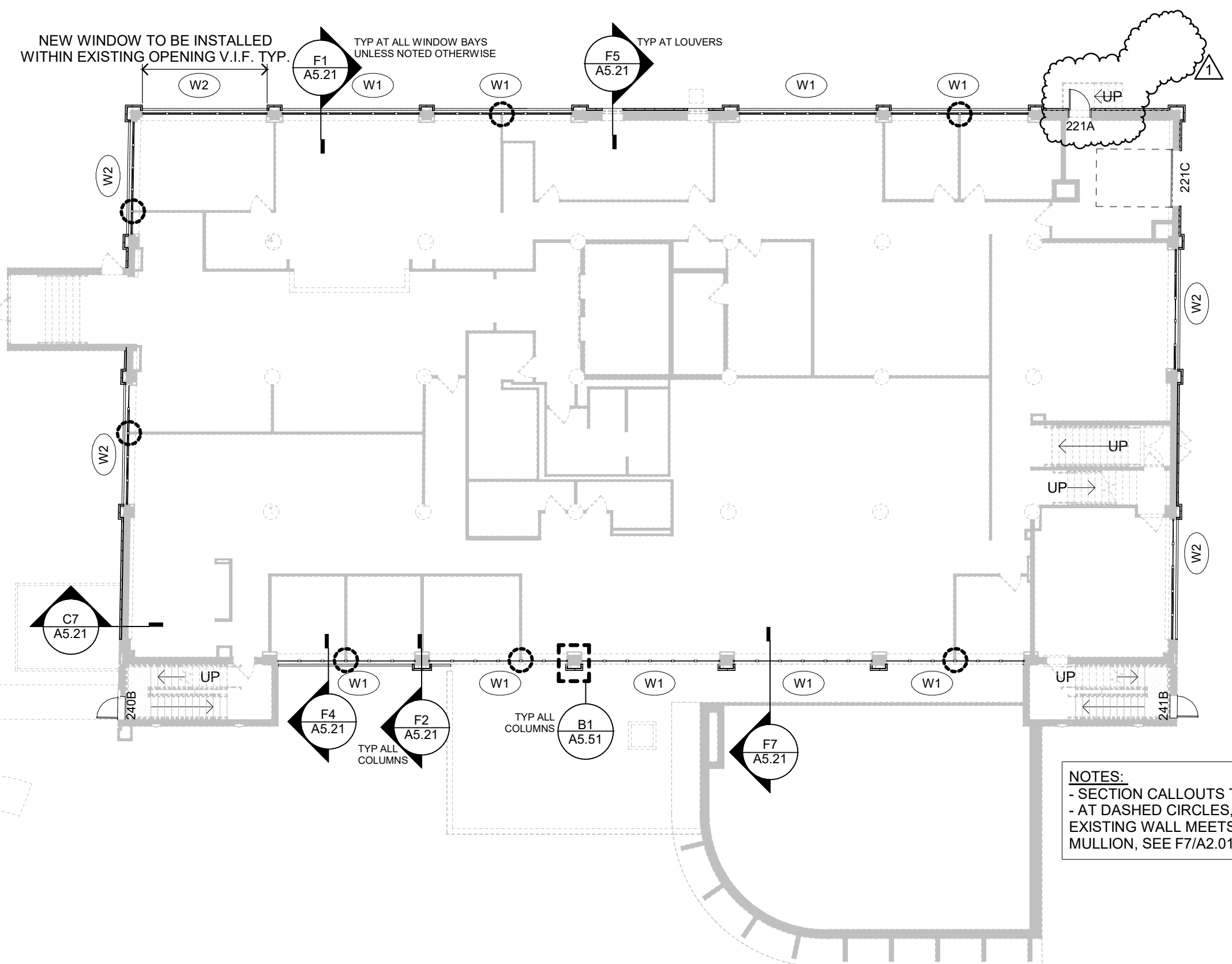
NOTES:
- AT DASHED CIRCLES, WHERE EXISTING WALL MEETS WINDOW MULLION, SEE F7/A2.01.

B1 THIRD FLOOR PLAN
1/16" = 1'-0"
0 12' 24'



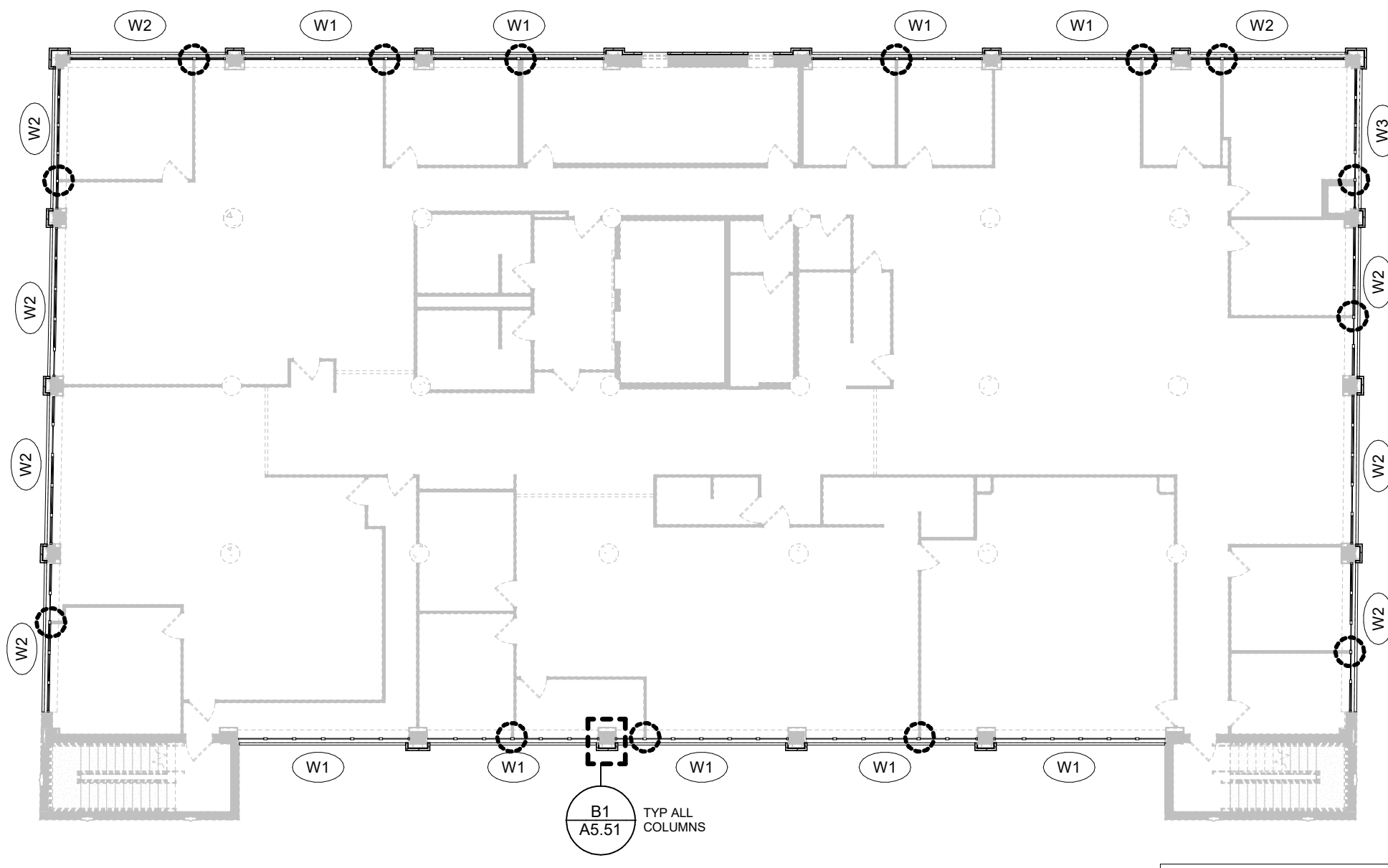
NOTES:
- AT DASHED CIRCLES, WHERE EXISTING WALL MEETS WINDOW MULLION, SEE F7/A2.01.

B4 SIXTH LEVEL FLOOR PLAN
1/16" = 1'-0"
0 12' 24'



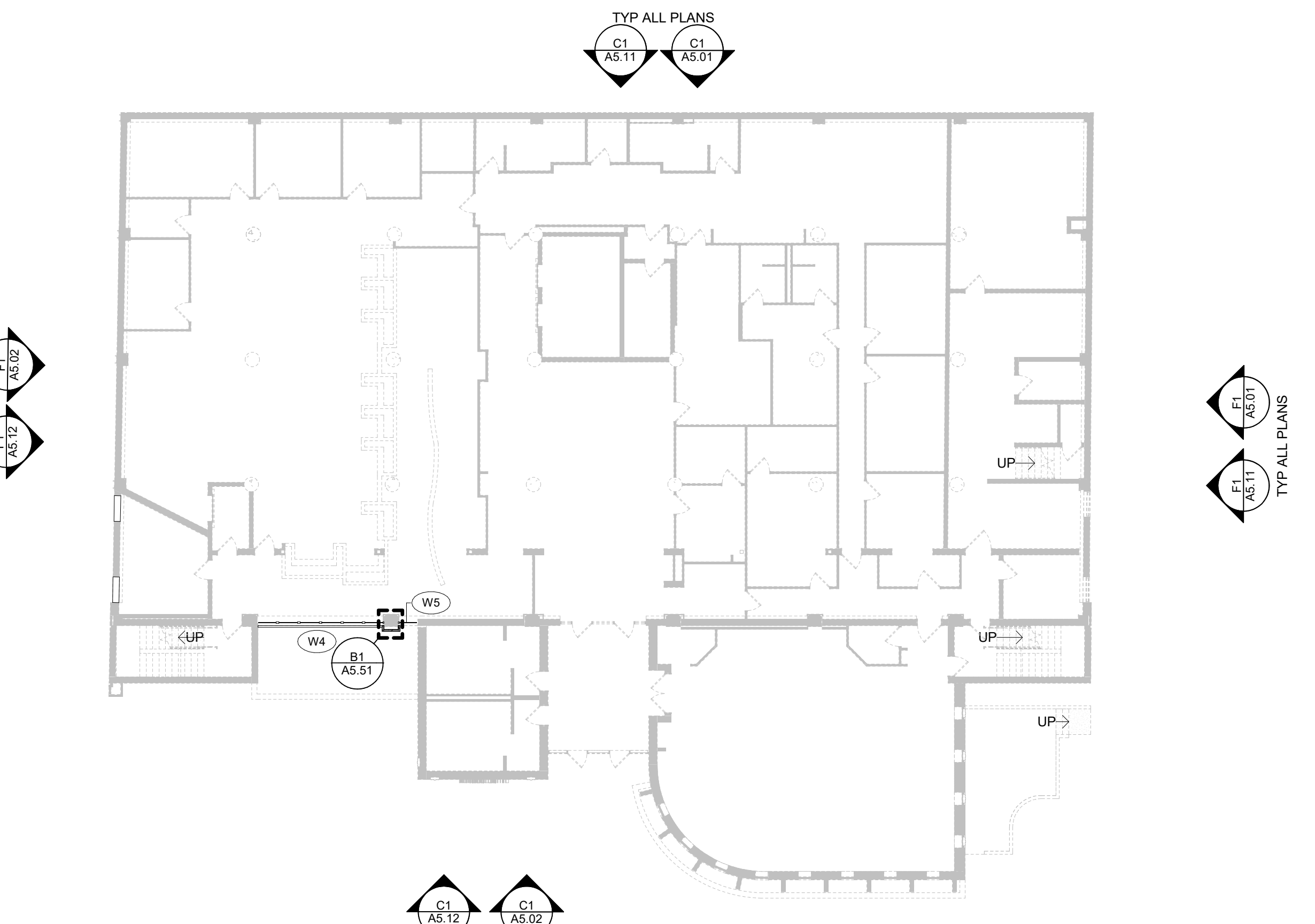
NOTES:
- SECTION CALLOUTS TYP ALL PLANS.
- AT DASHED CIRCLES, WHERE EXISTING WALL MEETS WINDOW MULLION, SEE F7/A2.01.

D1 SECOND LEVEL FLOOR PLAN
1/16" = 1'-0"
0 12' 24'



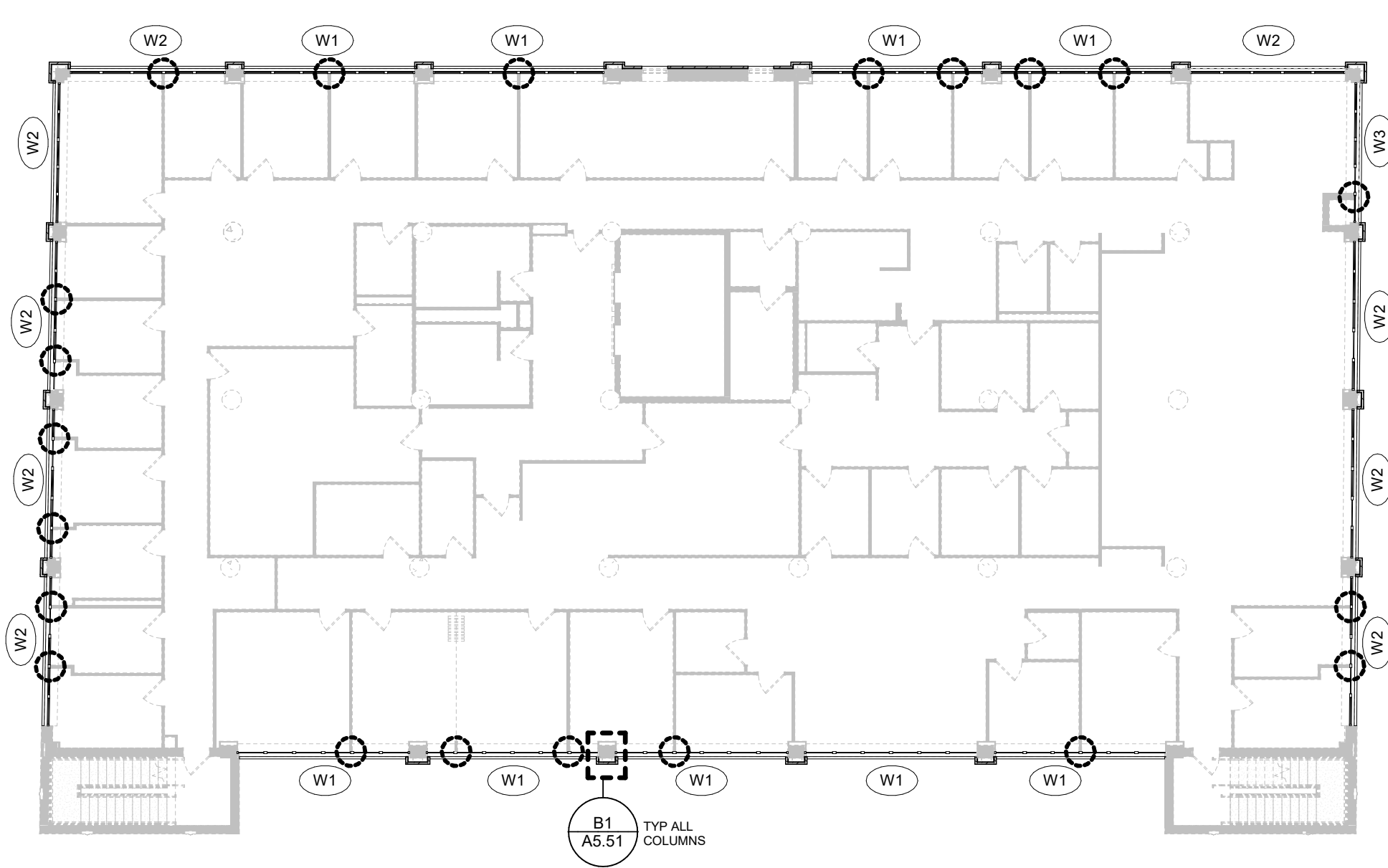
NOTES:
- AT DASHED CIRCLES, WHERE EXISTING WALL MEETS WINDOW MULLION, SEE F7/A2.01.

D4 FIFTH LEVEL FLOOR PLAN
1/16" = 1'-0"
0 12' 24'



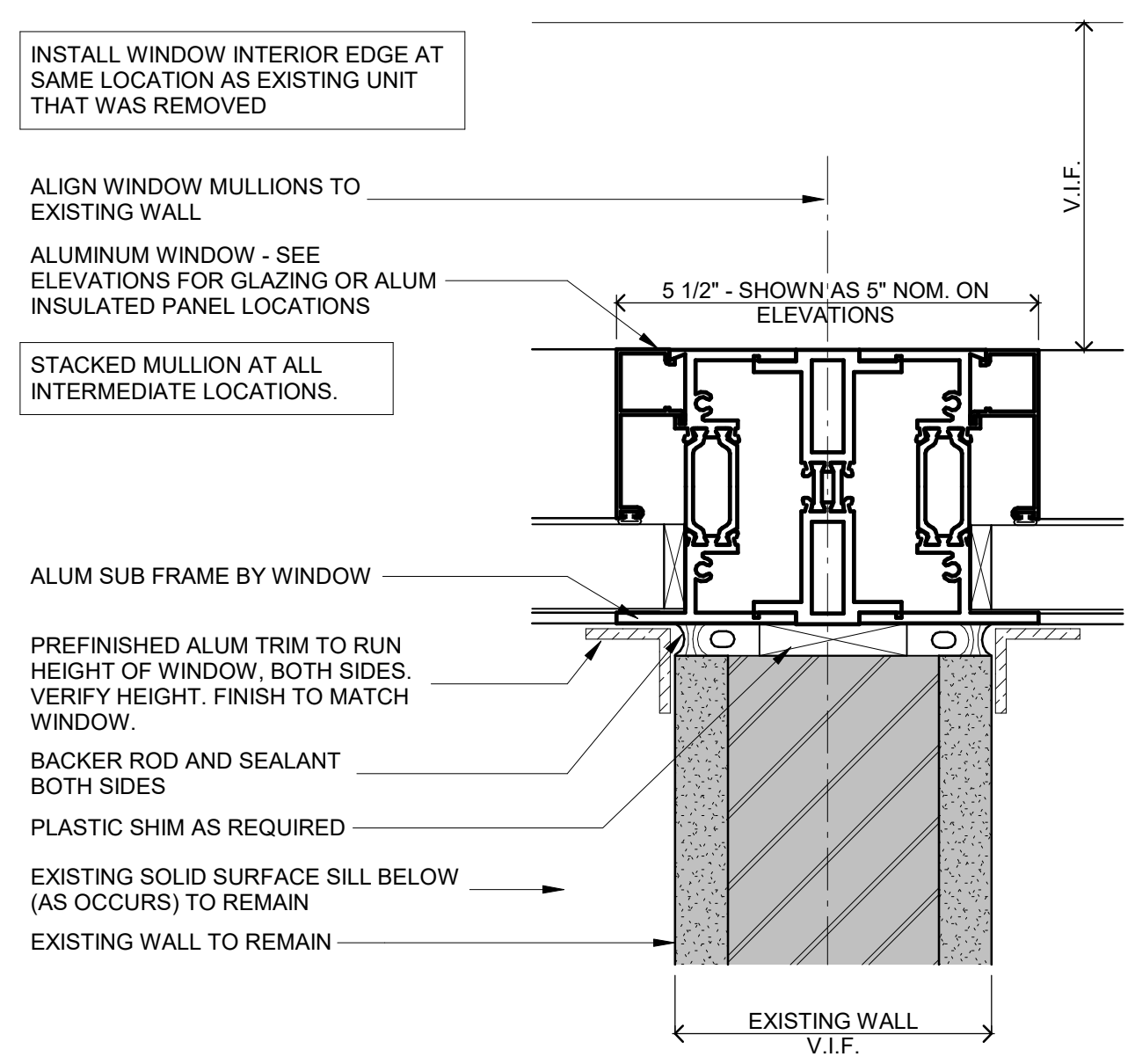
TYP ALL PLANS
C1 AS.11 C1 AS.12
C1 AS.13 C1 AS.14

F1 FIRST LEVEL FLOOR PLAN
1/16" = 1'-0"
0 12' 24'



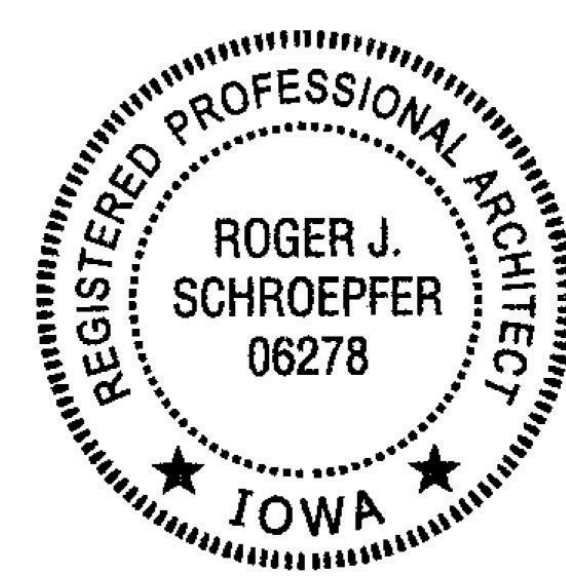
NOTES:
- AT DASHED CIRCLES, WHERE EXISTING WALL MEETS WINDOW MULLION, SEE F7/A2.01.

F4 FOURTH LEVEL FLOOR PLAN
1/16" = 1'-0"
0 12' 24'



- INSTALL WINDOW INTERIOR EDGE AT SAME LOCATION AS EXISTING UNIT THAT WAS REMOVED
- ALIGN WINDOW MULLIONS TO EXISTING WALL
- ALUMINUM WINDOW - SEE ELEVATIONS FOR GLAZING OR ALUM INSULATED PANEL LOCATIONS
- STACKED MULLION AT ALL INTERMEDIATE LOCATIONS.
- ALUM SUB FRAME BY WINDOW
- PREFINISHED ALUM TRIM TO RUN HEIGHT OF WINDOW, BOTH SIDES. VERIFY HEIGHT. FINISH TO MATCH WINDOW.
- BACKER ROD AND SEALANT BOTH SIDES
- PLASTIC SHIM AS REQUIRED
- EXISTING SOLID SURFACE SILL BELOW (AS OCCURS) TO REMAIN
- EXISTING WALL TO REMAIN

F7 EXISTING INT WALL @ NEW WINDOW
6" = 1'-0"
0 1.5' 3'



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of Iowa.

License Number: **Roger Schroepfer** Date: **10.04.2019**
06278

Description	Revision	Date	Num
Addendum #1		10.23.2019	1

Comm: 193033
Date: 10.04.2019
Drawn: ACM
Check: KBE

FLOOR PLANS

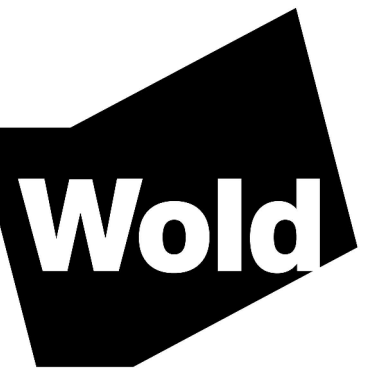
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A2.01

**Administration
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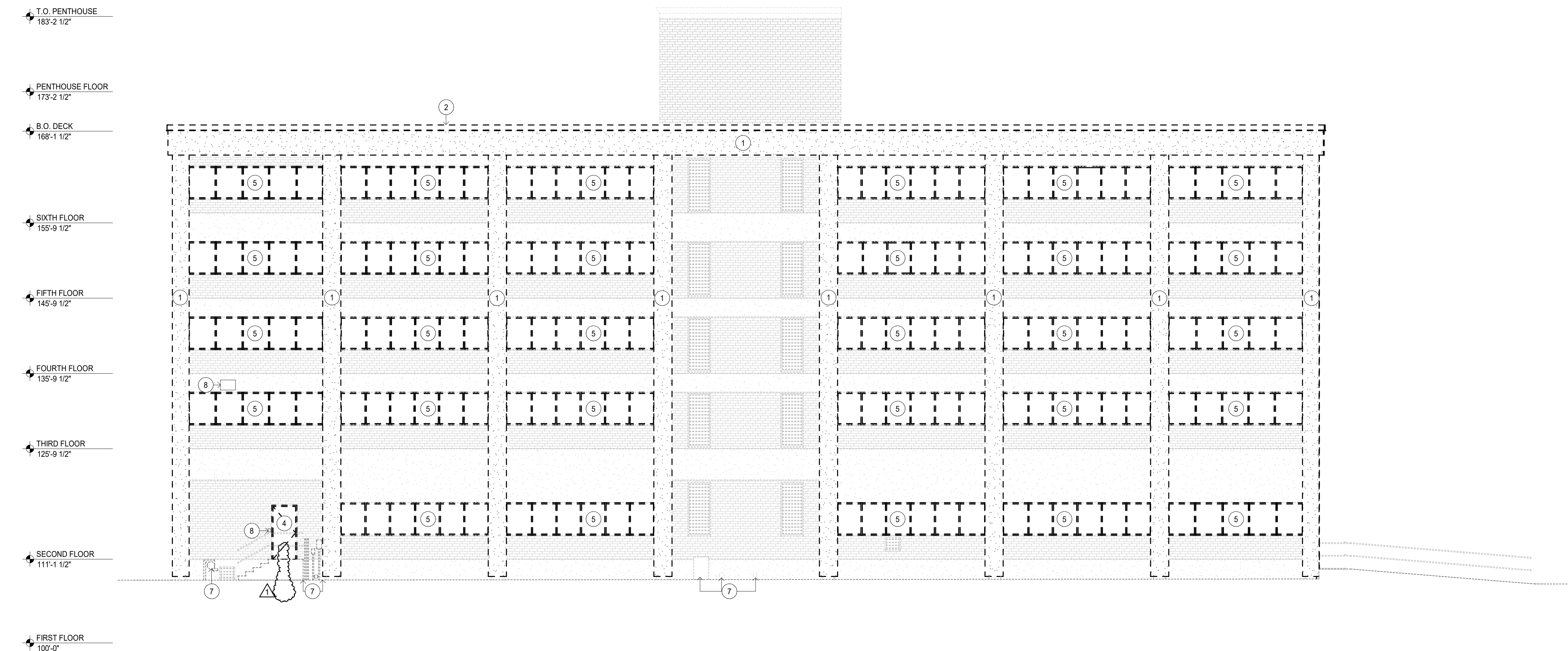
DEMOLITION ELEVATION GENERAL NOTES

- DEMOLITION NOTES AND PLANS ARE PROVIDED AS A GUIDE ONLY. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND EXAMINE DRAWINGS AND DETAILS TO DETERMINE EXTENT AND LIMITS OF DEMOLITION REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL THE ASPECTS OF DEMOLITION. CONTRACTOR TO REVIEW ALL DRAWINGS FOR ADDITIONAL DETAILS AND CONSTRUCTION SEQUENCING NOTES. PROVIDE AND COORDINATE ALL DEMOLITION AND RECONSTRUCTION WITH PROJECT DIMENSIONS AND INSTALLATION OF NEW MATERIALS AND FINISHES, AS REQUIRED, WHETHER INDICATED ON DRAWINGS OR NOT.
- PROVIDE SMOOTH, CLEAN SUBSTRATE TO ALL AREAS RECEIVING NEW FINISHES. COORDINATE WORK WITH PLANS AND THE ROOM FINISH SCHEDULE.
- DEMOLITION CONTRACTOR SHALL CAREFULLY REMOVE CONSTRUCTION DESIGNATED FOR REMOVAL TO MINIMIZE EXTENT OF DAMAGES TO ADJACENT SURFACES. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ALL DAMAGE CREATED DUE TO CONSTRUCTION.
- ALL RELATED WOOD BLOOMING, CONNECTION DEVICES AND/OR MASTIC SHALL BE REMOVED FROM SURFACES AT ITEMS NOTED FOR REMOVAL. PROVIDE SURFACES ACCEPTABLE FOR PATCHING.
- CONTRACTOR RESPONSIBLE FOR TRANSPORTATION AND DISPOSAL OF ALL DEMOLITION ITEMS UNLESS OTHERWISE NOTED. DISPOSE OF ALL MATERIALS LEGALLY OFF-SITE.
- NOTES WITHOUT ARROWS INDICATE THAT THE NOTE APPLIES TO THE ENTIRE AREA.
- REFER TO DETAILS OF CONSTRUCTION FOR ALL AREAS OF WORK. ALL DETAILS SHALL BE REVIEWED FOR SCOPE OF WORK.
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- CONTRACTOR RESPONSIBLE FOR CONTAMINATION AND CLEANING OF CONSTRUCTION DUST AND DEBRIS AFTER ANY DEMOLITION OR INSTALLMENT WORK.

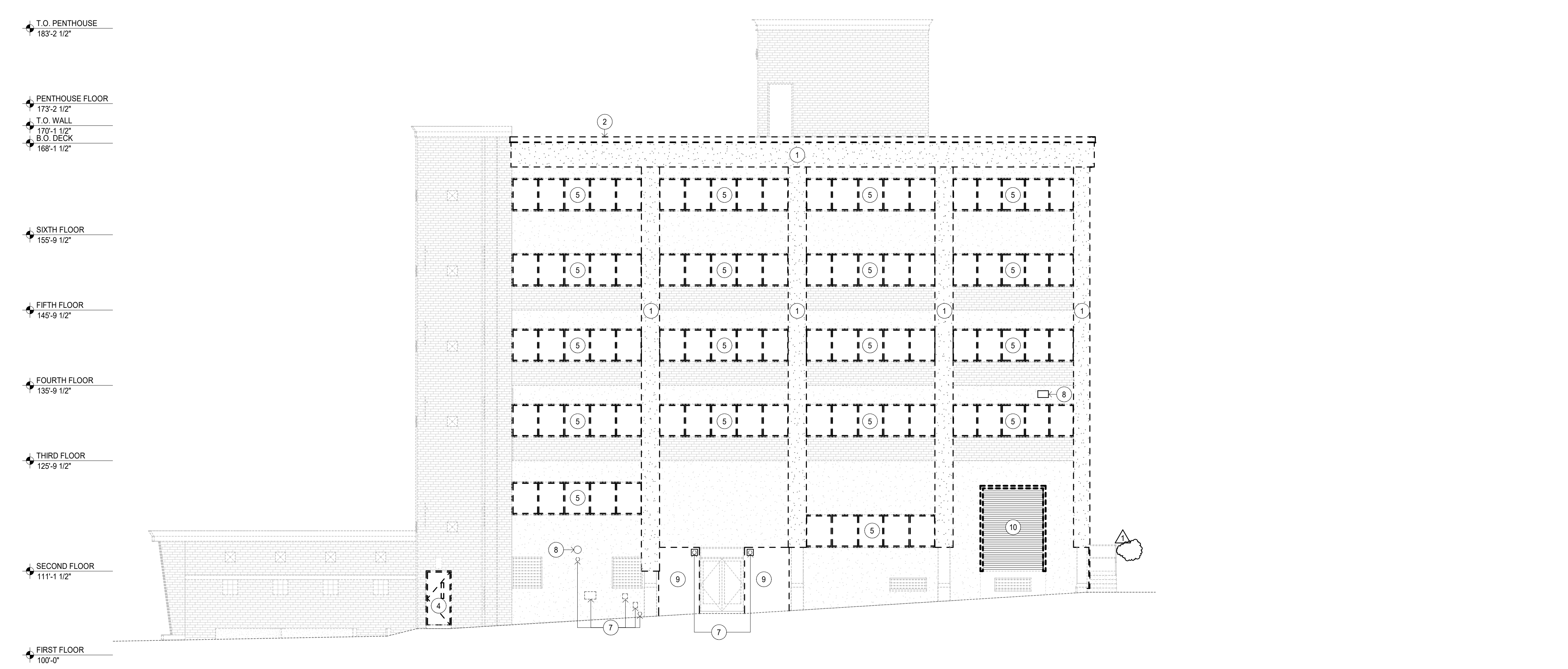
DEMOLITION ELEVATION KEY NOTES:

- REMOVE EXISTING EXPOSED AGGREGATE PANEL INCLUDING ALL ASSOCIATED ANCHORS AND BLOCKING. EXISTING STEEL FRAMING TO REMAIN.
- REMOVE EXISTING SHEET METAL COPING FOR NEW WORK.
- REMOVE AND CAP EXISTING ABANDONED LOUVER. SEE DETAIL E1/A5.51.
- REMOVE EXISTING DOOR AND FRAME INCLUDING ALL ANCHORS, BLOCKING, HARDWARE, ETC. AS OCCURS - ALTERNATE #1.
- REMOVE EXISTING WINDOW SYSTEM INCLUDING ALL ASSOCIATED ANCHORS, BLOCKING AND EXISTING FLASHINGS AND SILL.
- PROTECT EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT. SEE DETAIL BS/A5.51 AND B7/A5.51 FOR INSTALLATION OF METAL PANEL AROUND WALL PENETRATIONS.
- REMOVE, SALVAGE AND REINSTALL EXISTING EXTERIOR LIGHT FIXTURES AND OTHER ELECTRICAL COMPONENTS.
- REMOVE EXISTING PLYWOOD SHEATHING, EXISTING FRAMING TO REMAIN, PROTECT EXISTING STOREFRONT TO REMAIN.
- REMOVE EXISTING OVERHEAD DOOR AND FRAME - ALTERNATE #1.
- REMOVE REMAINING EPIS ON MTL. STUD WALL AND ASSOCIATED ANCHORS AND BLOCKING.

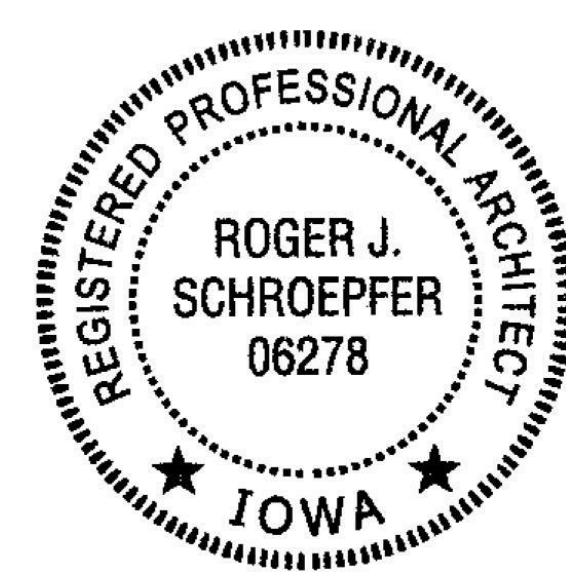
IL



C1 NORTH DEMOLITION ELEVATION
1/8" = 1'-0"
0 6 12



F1 EAST DEMOLITION ELEVATION
1/8" = 1'-0"
0 6 12



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of Iowa.

Roger Schroepfer
License Number: 06278 Date: 10.04.2019

Description	Revisions	
	Date	Num
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Comm: 193033
Date: 10.04.2019
Drawn: ACM
Check: KBE
North

**DEMOLITION
ELEVATIONS**

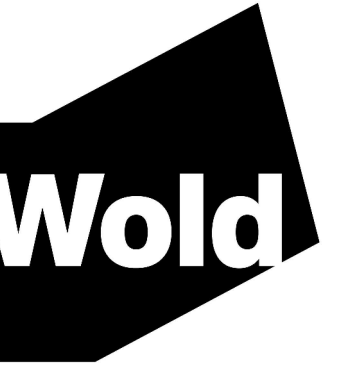
Scale: As indicated

A5.01

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DEMOLITION ELEVATION KEY NOTES:

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- REMOVE EXISTING SHEET METAL COPING FOR NEW WORK.
- REMOVE AND CAP EXISTING ABANDONED LOUVER. SEE DETAIL E11AS.51.
- REMOVE EXISTING DOOR AND FRAME INCLUDING ALL ANCHORS, BLOCKING, HARDWARE, ETC. AS OCCURS - ALTERNATE #1.
- REMOVE EXISTING WINDOW SYSTEM INCLUDING ALL ASSOCIATED ANCHORS, BLOCKING AND EXISTING FLASHINGS AND SILL.
- PROTECT EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT. SEE DETAIL E5AS.51 AND E71AS.51 FOR INSTALLATION OF METAL PANEL AROUND WALL PENETRATIONS.
- REMOVE, SALVAGE AND REINSTALL EXISTING EXTERIOR LIGHT FIXTURES AND OTHER ELECTRICAL COMPONENTS.
- REMOVE EXISTING PLYWOOD SHEATHING. EXISTING FRAMING TO REMAIN. PROTECT EXISTING STOREFRONT TO REMAIN.
- REMOVE EXISTING OVERHEAD DOOR AND FRAME - ALTERNATE #1.
- REMOVE REMAINING EIFS ON MTL. STUD WALL AND ASSOCIATED ANCHORS AND BLOCKING.



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of Iowa.

Roger Schroeppfer
License Number: 06278 Date: 10.04.2019

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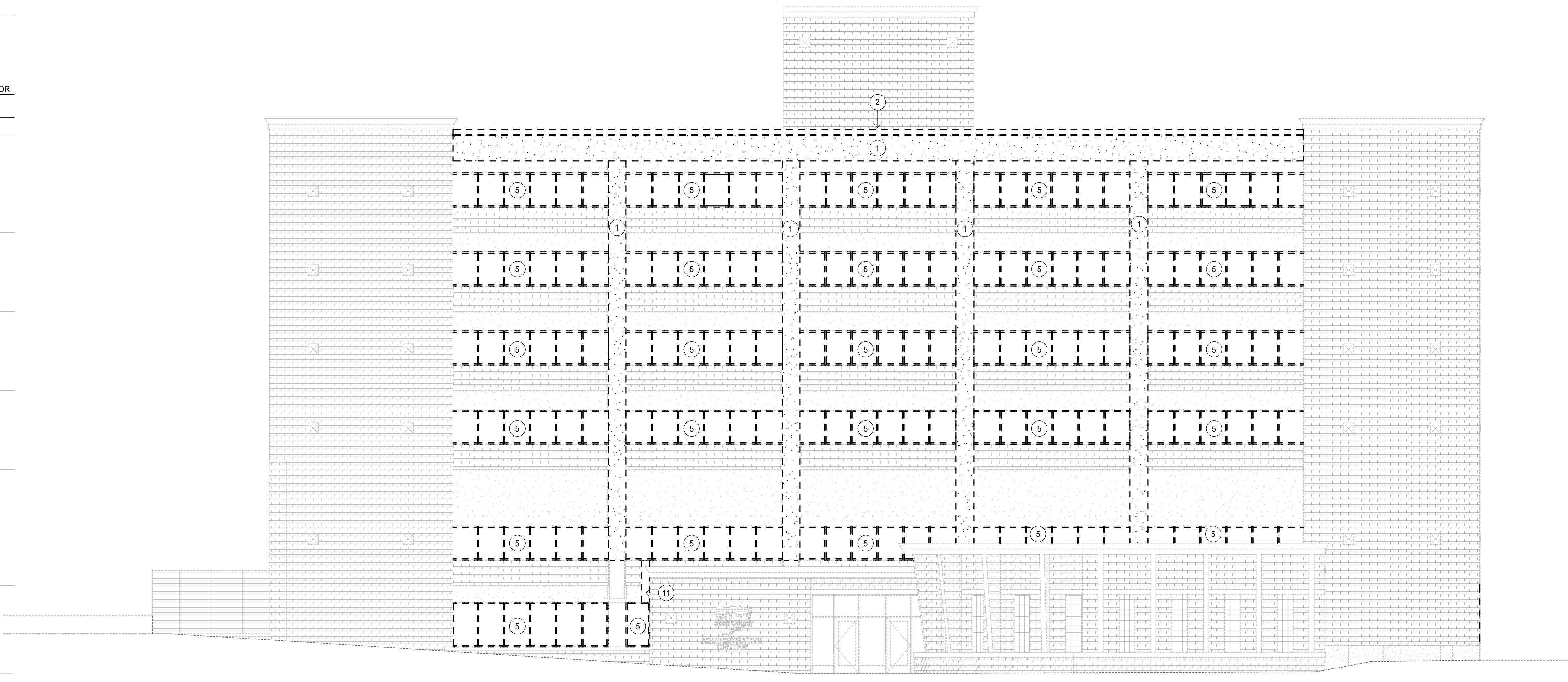
Comm: 193033
Date: 10.04.2019
Drawn: ACM
Check: KBE

**DEMOLITION
ELEVATIONS**

Scale: As indicated

A5.02

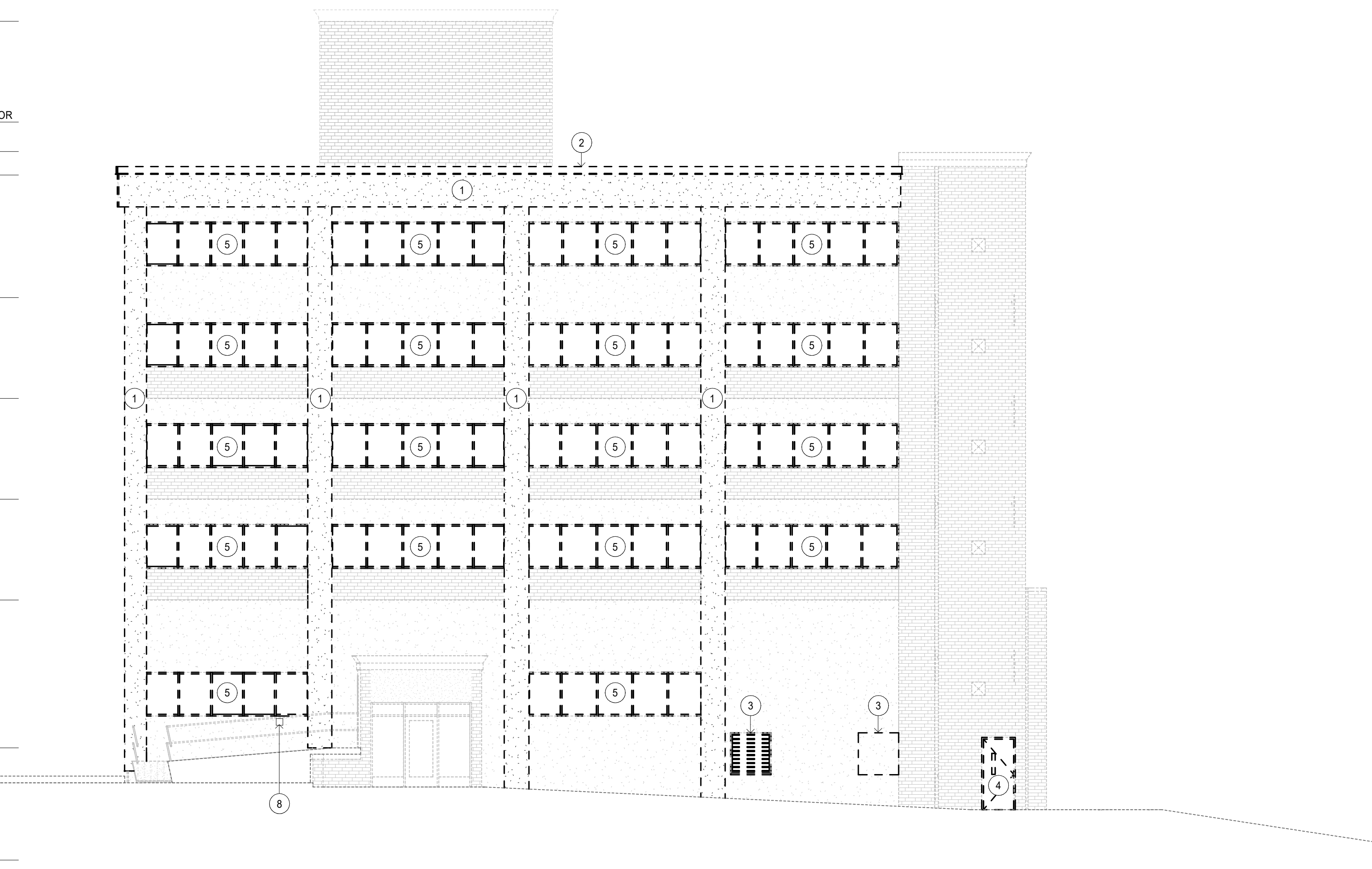
- T.O. PENTHOUSE
183'-2 1/2"
- PENTHOUSE FLOOR
173'-2 1/2"
- T.O. WALL
170'-1 1/2"
- B.O. DECK
168'-1 1/2"
- SIXTH FLOOR
155'-0 1/2"
- FIFTH FLOOR
145'-0 1/2"
- FOURTH FLOOR
135'-0 1/2"
- THIRD FLOOR
125'-0 1/2"
- SECOND FLOOR
111'-1 1/2"
- FIRST FLOOR
100'-0"



C1 SOUTH DEMOLITION ELEVATION

1/8" = 1'-0"
0 6 12

- T.O. PENTHOUSE
183'-2 1/2"
- PENTHOUSE FLOOR
173'-2 1/2"
- T.O. WALL
170'-1 1/2"
- B.O. DECK
168'-1 1/2"
- SIXTH FLOOR
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135'-0 1/2"
- THIRD FLOOR
125'-0 1/2"
- SECOND FLOOR
111'-1 1/2"
- FIRST FLOOR
100'-0"

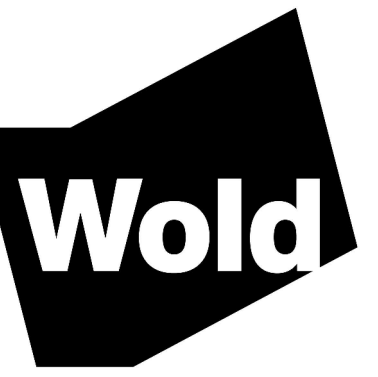


F1 WEST DEMOLITION ELEVATION

1/8" = 1'-0"
0 6 12

IL

A



EXTERIOR ELEVATION GENERAL NOTES

1. PROTECT ALL EXISTING EXTERIOR EQUIPMENT AND FINISHES TO REMAIN.

EXTERIOR ELEVATION KEY NOTES:

1. INSTALL NEW WINDOW SYSTEM IN EXISTING OPENING.
2. INSTALL PRE-FINISHED METAL COPING TO MATCH EXISTING. SEE DETAIL E1/A2.11.
3. INSTALL ALUMINUM INSULATED PANEL IN WINDOW SYSTEM.
4. EXISTING LOUVER TO REMAIN. PAINT TO MATCH ADJACENT INSULATED METAL PANEL.
5. LOCATION OF REINSTALLED LIGHT FIXTURES AND OTHER ELECTRICAL EQUIPMENT.
6. SEE DETAIL B5/A5.51 FOR CONDITIONS AROUND MECH AND ELEC EQUIPMENT TO REMAIN. SEE DETAIL B7/A5.51 FOR CONDITIONS AROUND WALL PENETRATIONS. PAINT EXPOSED WALL SURFACE TO COORDINATE WITH METAL PANEL COLOR.
7. REMOVING PORTION OF WOOD FENCING AS REQUIRED FOR METAL PANEL INSTALLATION SALVAGE AND REINSTALL.
8. AT REMOVED PLYWOOD SHEATHING INSTALL EXTERIOR SHEATHING OVER EXISTING FRAMING. TAPE AT SEAMS AND COVER WITH NEW INSULATED METAL PANEL SYSTEM AS SHOWN.
9. NEW 2 1/2" INSULATED METAL PANEL SYSTEM ATTACHED TO EXISTING STRUCTURE. SEE DETAIL B7/A5.53 FOR TYPICAL PATTERN.
10. NEW 2 1/2" INSULATED METAL PANEL SYSTEM. SEE DETAIL C7/A5.53 FOR TYPICAL PATTERN.
11. NEW 2 1/2" INSULATED METAL PANEL SYSTEM. SEE DETAIL E7/A5.53 FOR TYPICAL PATTERN.
12. NEW 2 1/2" INSULATED MTL PANEL SYSTEM. SEE DETAIL F7/A5.53 FOR TYPICAL PATTERN.
13. NEW 2 1/2" INSULATED MTL PANEL SYSTEM. ALIGN PATTERN WITH ADJACENT METAL PANELS. SEE DETAIL F5/A5.53 FOR ADDITIONAL PATTERN SPACING.
14. PATCH CONCRETE AT ENTIRE BASE OF COLUMN TO HEIGHT SHOWN TO COVER EXPOSED REBAR. USE BASF MASTER EMACO N423RS REPAIR MORTAR OR EQUAL.

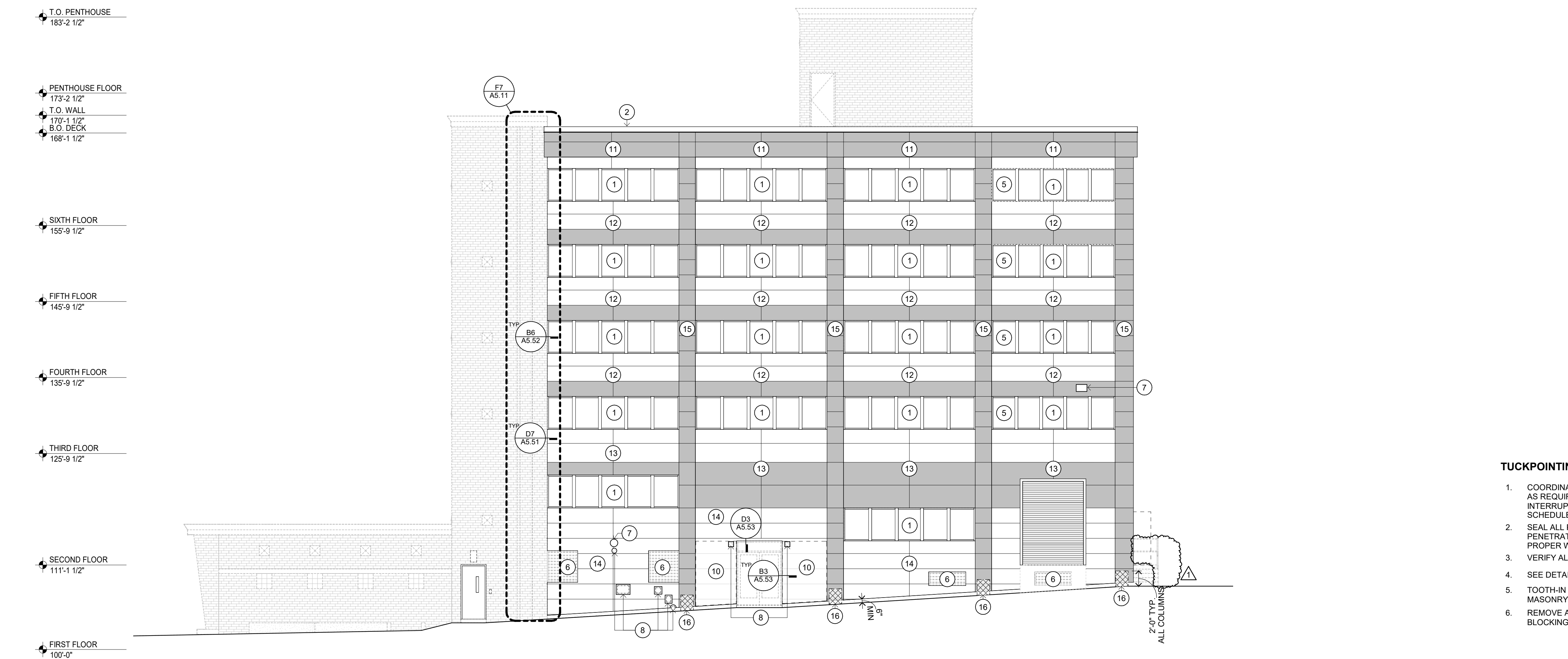
METAL PANEL COLOR LEGEND

- METAL PANEL #1
- METAL PANEL #2



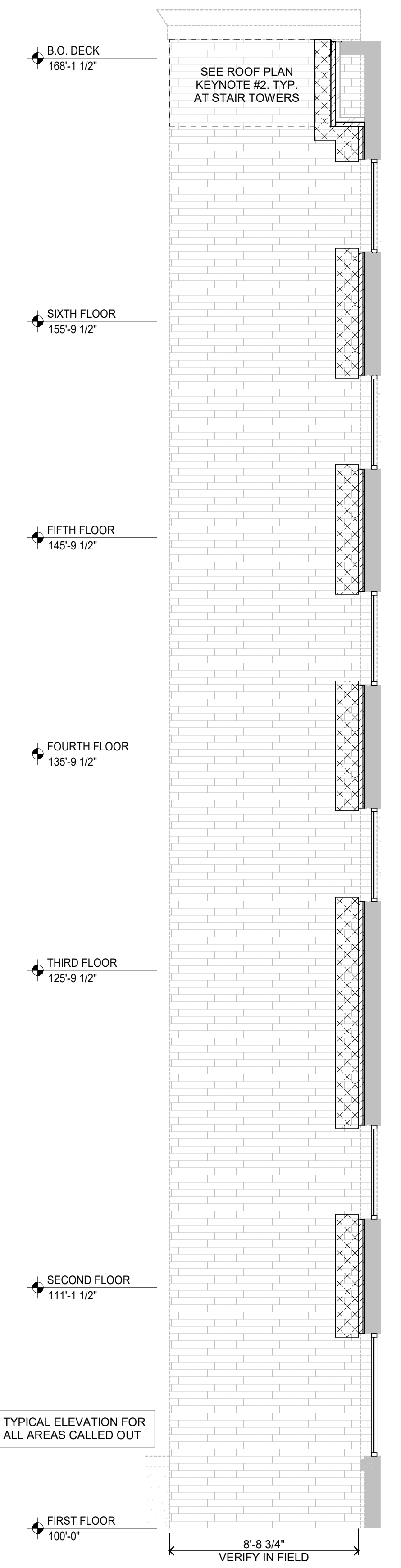
C1 NORTH ELEVATION

1/8" = 1'-0"



F1 EAST ELEVATION

1/8" = 1'-0"



F7 TUCKPOINT AT EXISTING WINDOW JAMBS

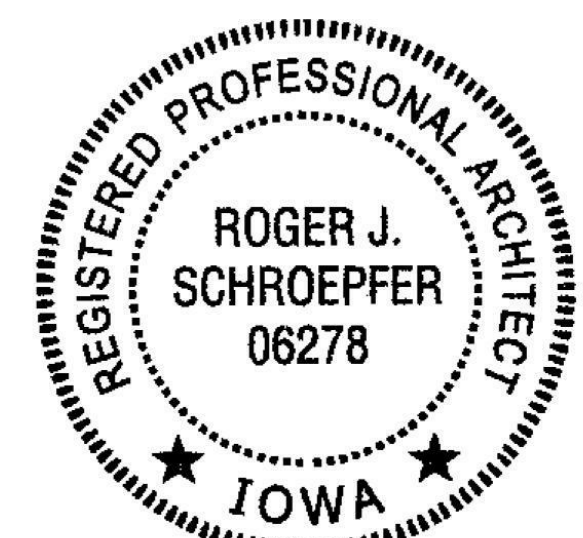
1/4" = 1'-0"

TUCKPOINTING NOTES

1. COORDINATE MASONRY WORK WITH SURFACE MOUNTED ITEMS AS REQUIRED. COORDINATE ANY POTENTIAL UTILITY SERVICE INTERRUPTIONS W/ BUILDING STAFF. WORK TO BUILDING STAFF SCHEDULES WHENEVER POSSIBLE.
2. SEAL ALL PIPE, CONDUIT, DUCT AND OTHER MASONRY WALL PENETRATIONS WHERE CURRENT SEAL IS INSUFFICIENT FOR A PROPER WEATHER SEAL.
3. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN FIELD.
4. SEE DETAILS E6/A5.52 FOR LEVEL OF MASONRY REPAIR.
5. TOOTH-IN ALL MASONRY REPAIRS/REBUILDS TO EXISTING MASONRY. MATCH COURSING PATTERNS OF EXISTING MASONRY.
6. REMOVE ANY REMAINING EIFS AND ASSOCIATED ADHESIVES, BLOCKING AND ANCHORS AT BRICK STAIRWELLS.

TUCKPOINTING LEGEND

- GRIND & TUCKPOINT 100% OF MASONRY JOINTS



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of Iowa.

R. Schroepfer
 License Number: **Roger Schroepfer 06278** Date: **10.04.2019**

Description	Revisions	
	Date	Num
Addendum #1	10.23.2019	1

Comm: 193033
 Date: 10.04.2019
 Drawn: ACM
 Check: KBE

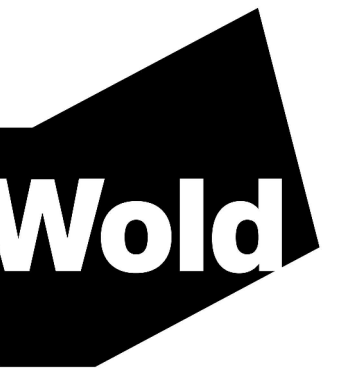
EXTERIOR ELEVATIONS

Scale: As indicated

**Administration
Building Exterior
Reclad and Window
Replacement**

600 W 4th Street
Davenport, IA 52801

Scott County
600 W 4th Street
Davenport, IA 52801



**WOLD ARCHITECTS
AND ENGINEERS**

110 North Brockway, Suite 220
Palatine, Illinois 60067

woldac.com | 847.241.6100

EXTERIOR ELEVATION GENERAL NOTES

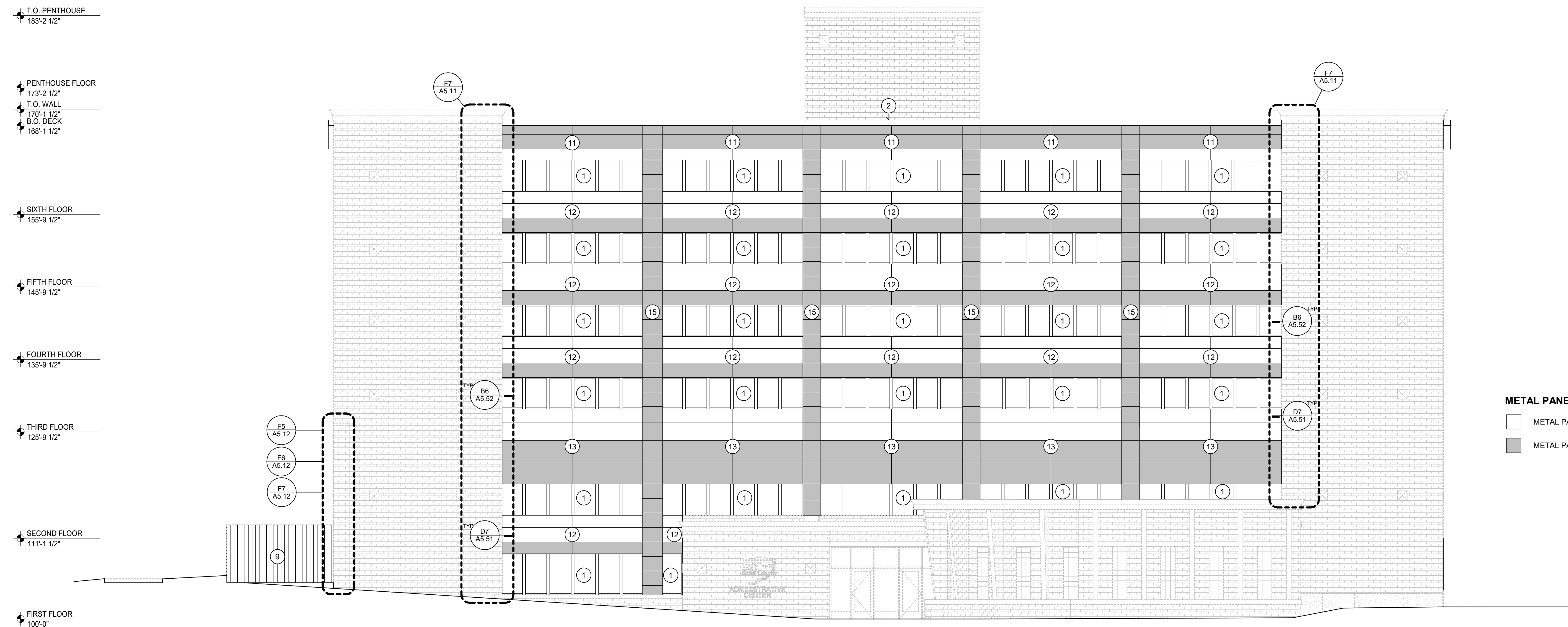
- PROTECT ALL EXISTING EXTERIOR EQUIPMENT AND FINISHES TO REMAIN.

EXTERIOR ELEVATION KEY NOTES:

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- INSTALL PRE-FINISHED METAL COPING TO MATCH EXISTING. SEE DETAIL E/A2.11.
- INSTALL ALUMINUM INSULATED PANEL IN WINDOW SYSTEM.
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- AT REMOVED PLYWOOD SHEATHING INSTALL EXTERIOR SHEATHING OVER EXISTING FRAMING. TAPE AT SEAMS AND COVER WITH NEW INSULATED METAL PANEL SYSTEM AS SHOWN.
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- NEW 2 1/2" INSULATED METAL PANEL SYSTEM. SEE DETAIL E7/A5.53 FOR TYPICAL PATTERN.
- NEW 2 1/2" INSULATED MTL PANEL SYSTEM. SEE DETAIL F7/A5.53 FOR TYPICAL PATTERN.
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METAL PANEL COLOR LEGEND

- METAL PANEL #1
- METAL PANEL #2



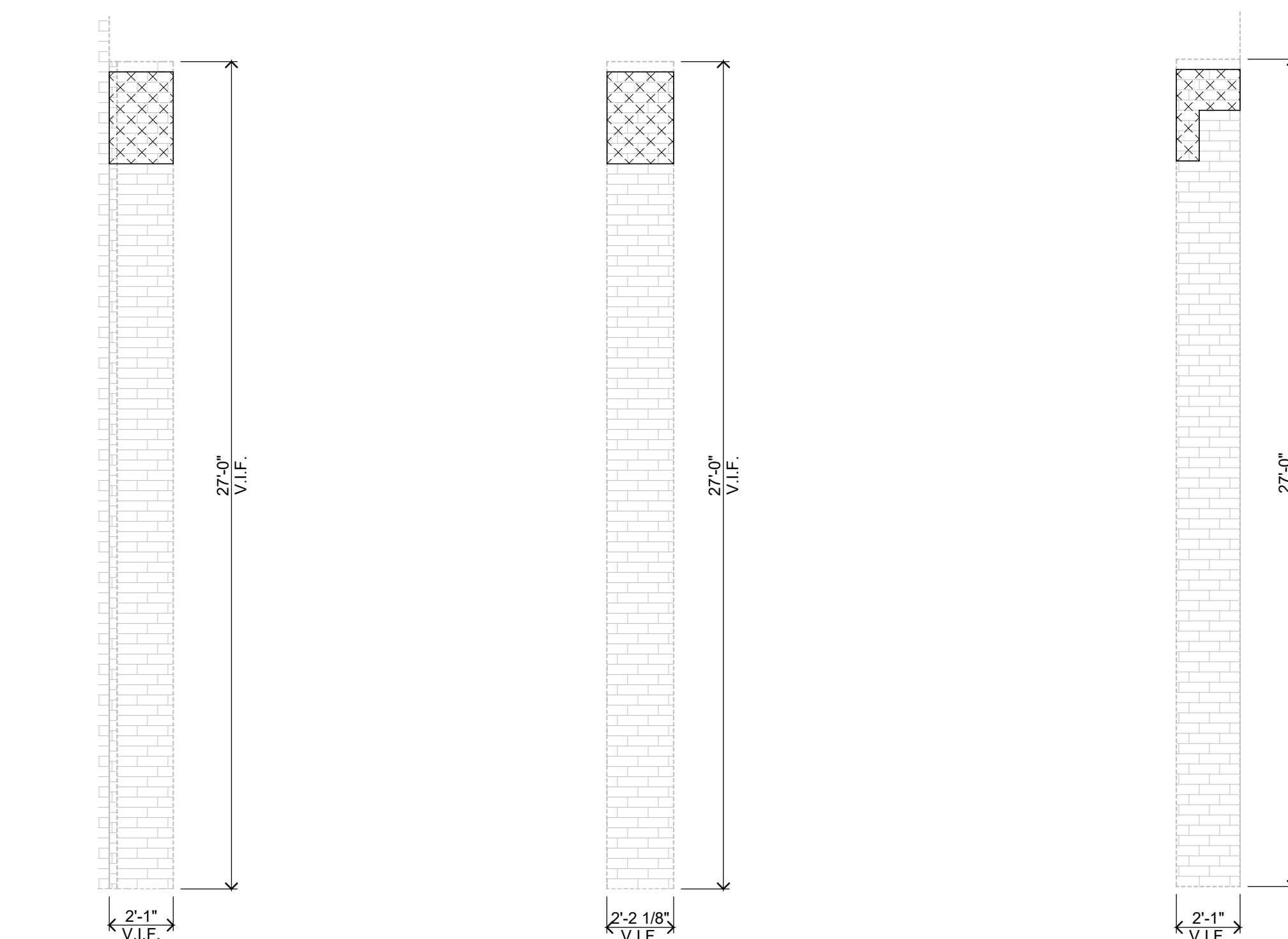
C1 SOUTH ELEVATION
1/8" = 1'-0"

TUCKPOINTING NOTES

- COORDINATE MASONRY WORK WITH SURFACE MOUNTED ITEMS AS REQUIRED. COORDINATE ANY POTENTIAL UTILITY SERVICE INTERRUPTIONS W/ BUILDING STAFF. WORK TO BUILDING STAFF SCHEDULES WHENEVER POSSIBLE.
- SEAL ALL PIPE, CONDUIT, DUCT AND OTHER MASONRY WALL PENETRATIONS WHERE CURRENT SEAL IS INSUFFICIENT FOR A PROPER WEATHER SEAL.
- VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN FIELD.
- SEE DETAILS E6/A5.52 FOR LEVEL OF MASONRY REPAIR.
- TOOTH-IN ALL MASONRY REPAIRS/REBUILDS TO EXISTING MASONRY. MATCH COURSING PATTERNS OF EXISTING MASONRY.
- REMOVE ANY REMAINING EIFS AND ASSOCIATED ADHESIVES, BLOCKING AND ANCHORS AT BRICK STAIRWELLS.

TUCKPOINTING LEGEND

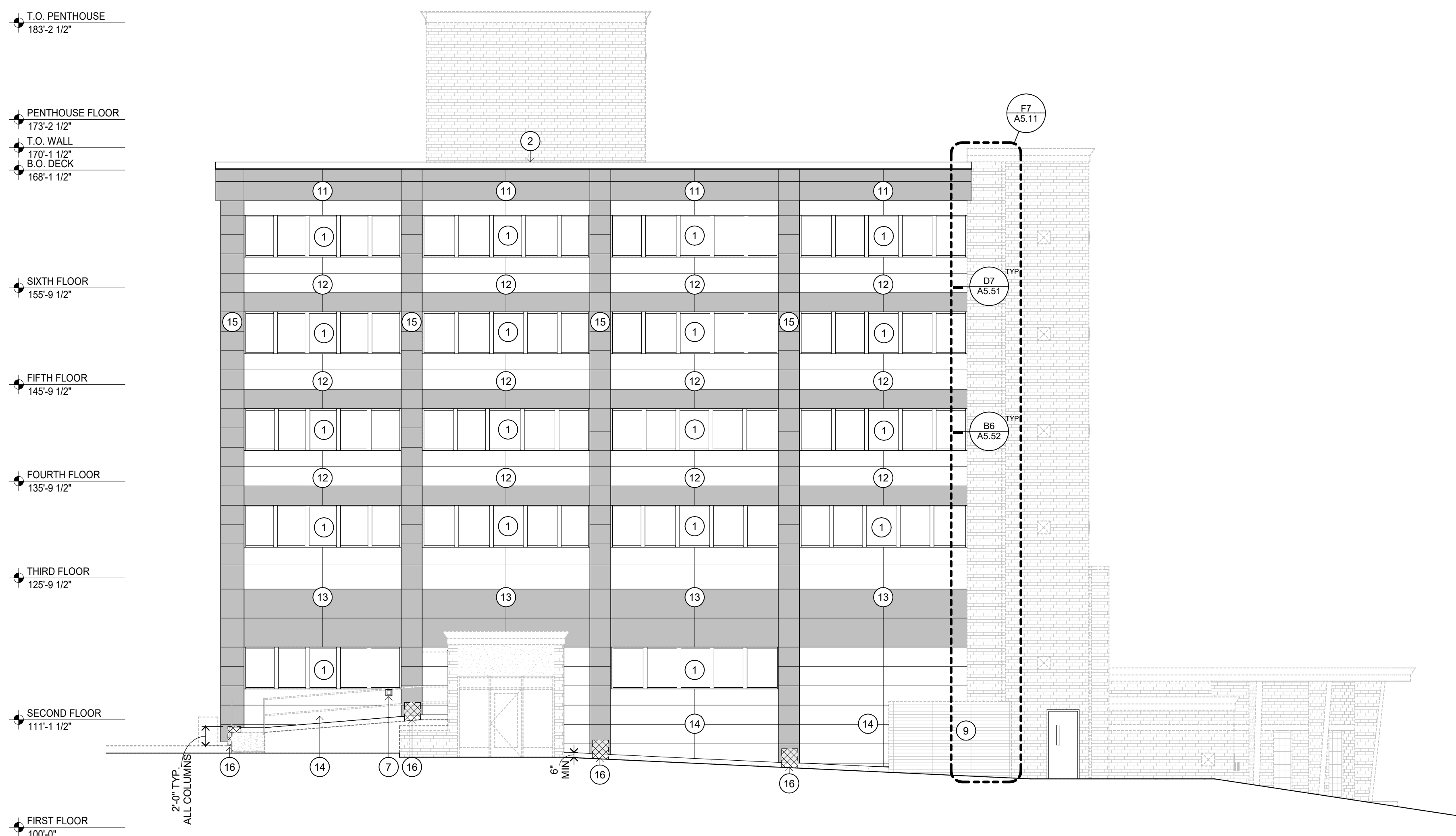
- GRIND & TUCKPOINT 100% OF MASONRY JOINTS



F5 WING WALL ELEVATION WEST
1/4" = 1'-0"

F6 WING WALL ELEVATION SOUTH
1/4" = 1'-0"

F7 WING WALL ELEVATION EAST
1/4" = 1'-0"



F1 WEST ELEVATION
1/8" = 1'-0"



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of Iowa.

Roger Schroeppfer
06278 Date: 10.04.2019

Description	Revisions	Date	Num
Addendum #1		10.23.2019	1

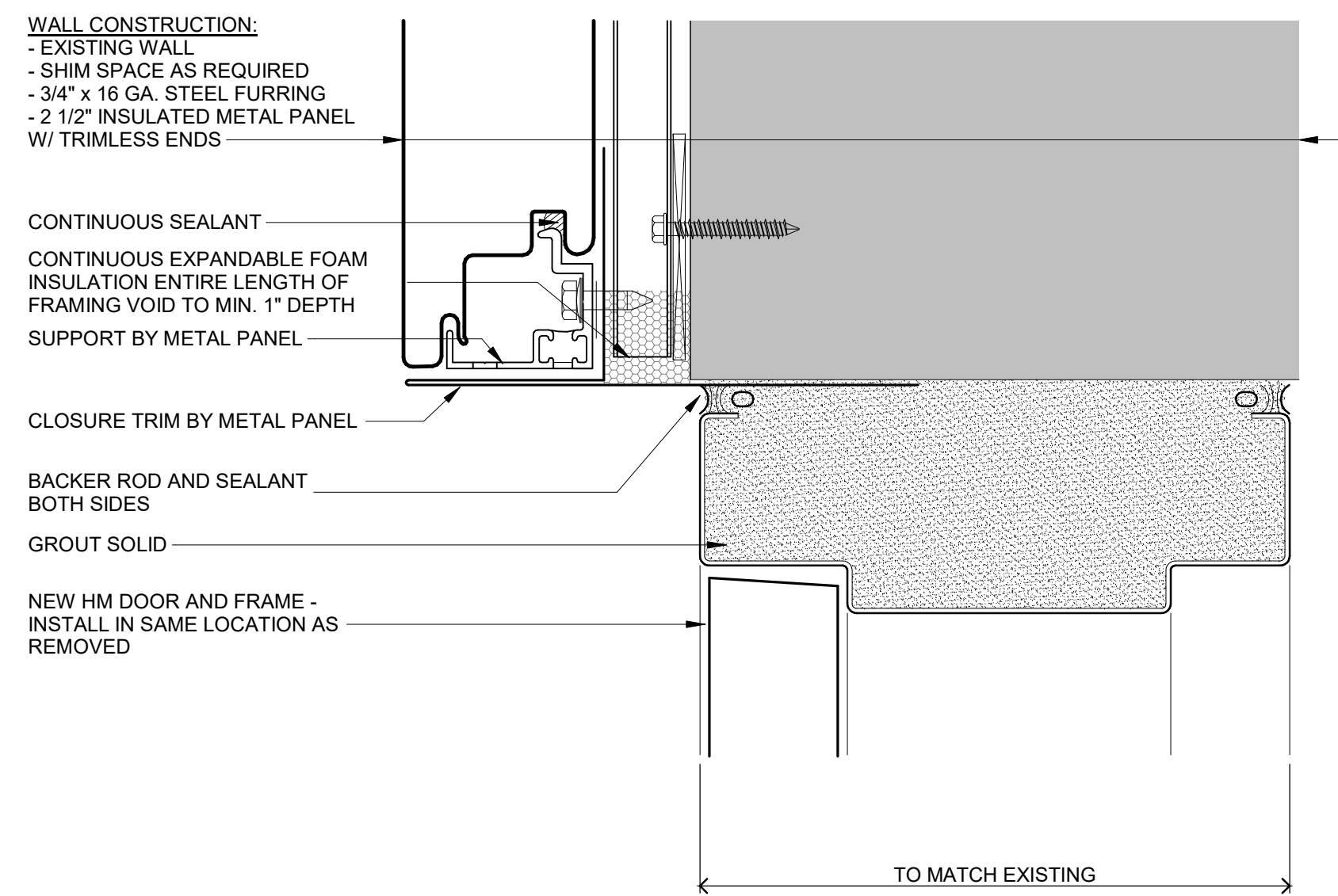
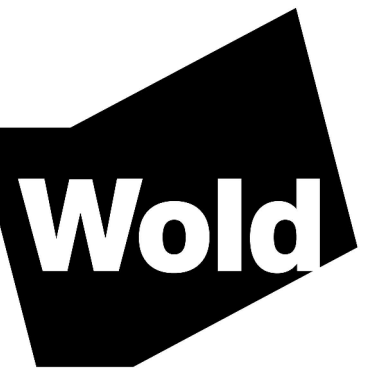
Description	Revisions	Date	Num
Addendum #1		10.23.2019	1

Comm: 193033
Date: 10.04.2019
Drawn: ACM
Check: KBE
North

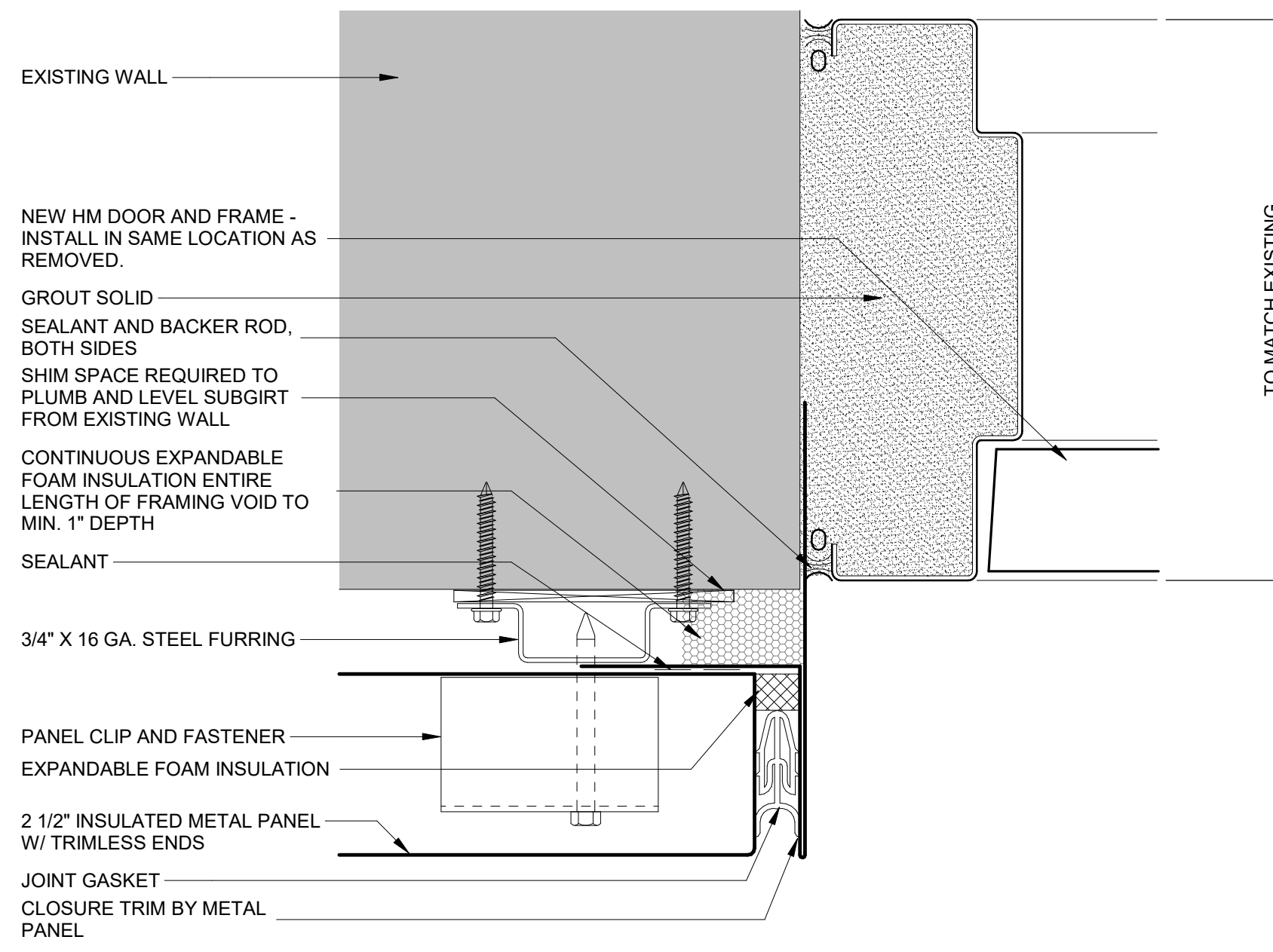
**EXTERIOR
ELEVATIONS**

Scale: As indicated

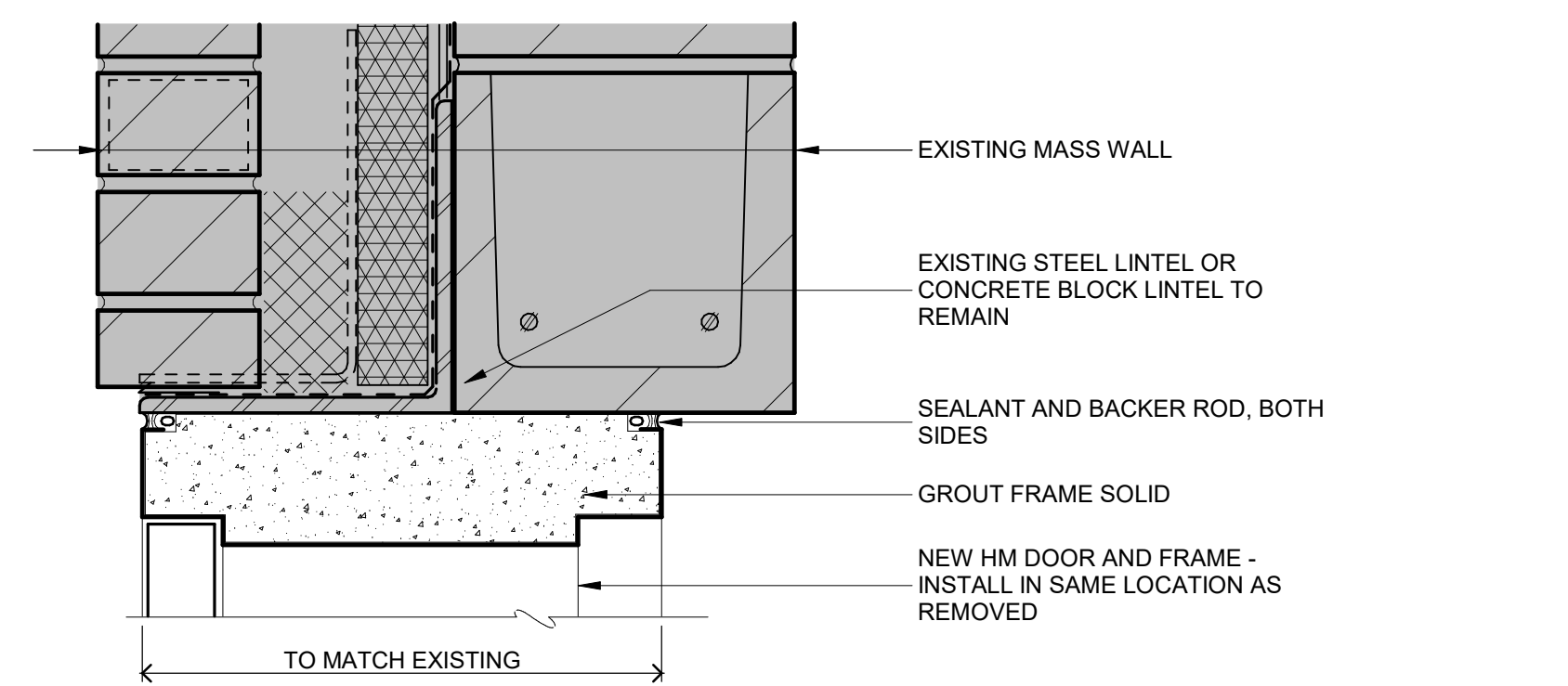
A5.12



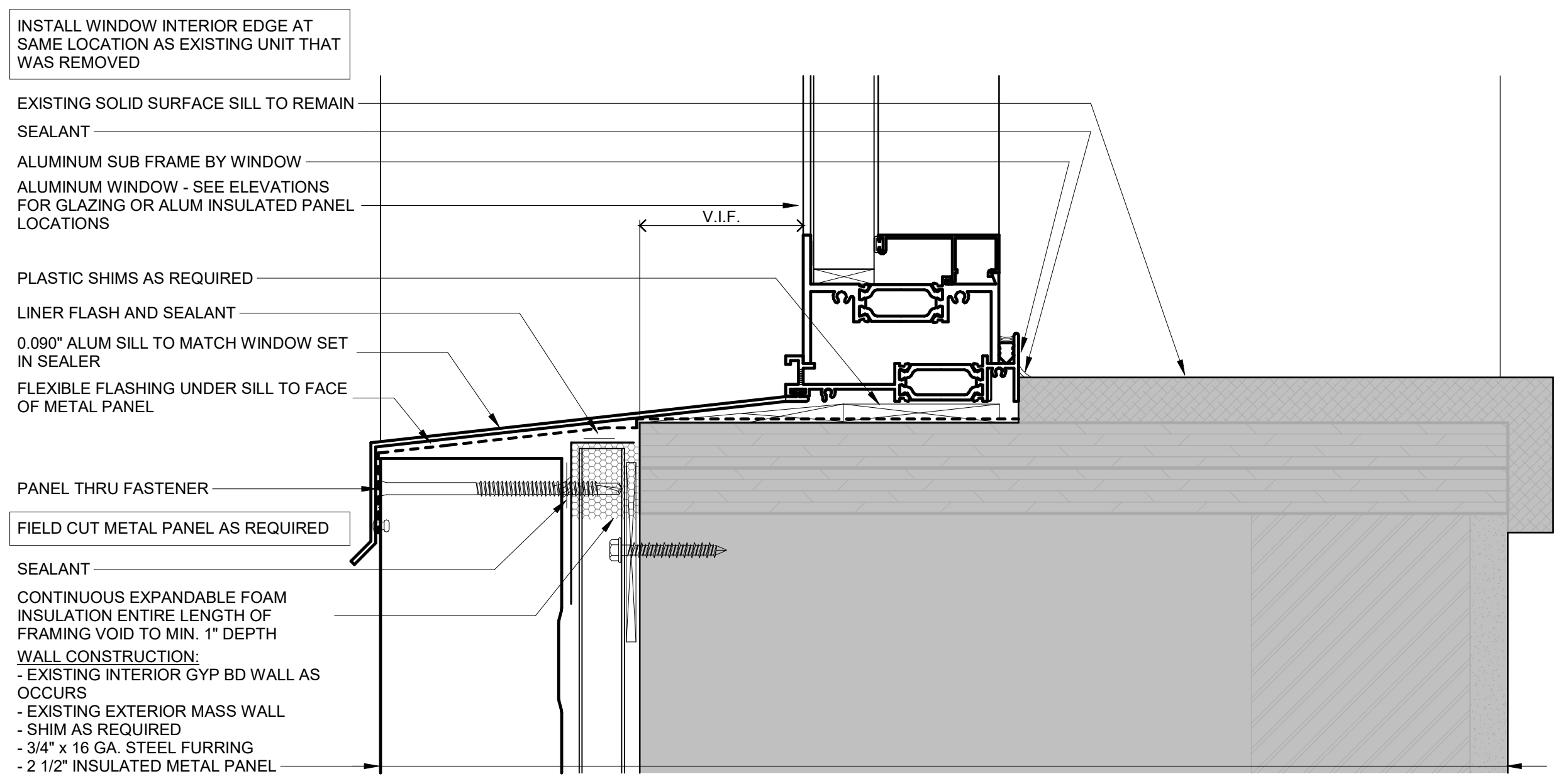
B1 METAL PANEL HEAD AT NEW HM DOOR - ALTERNATE #1
6" = 1'-0"



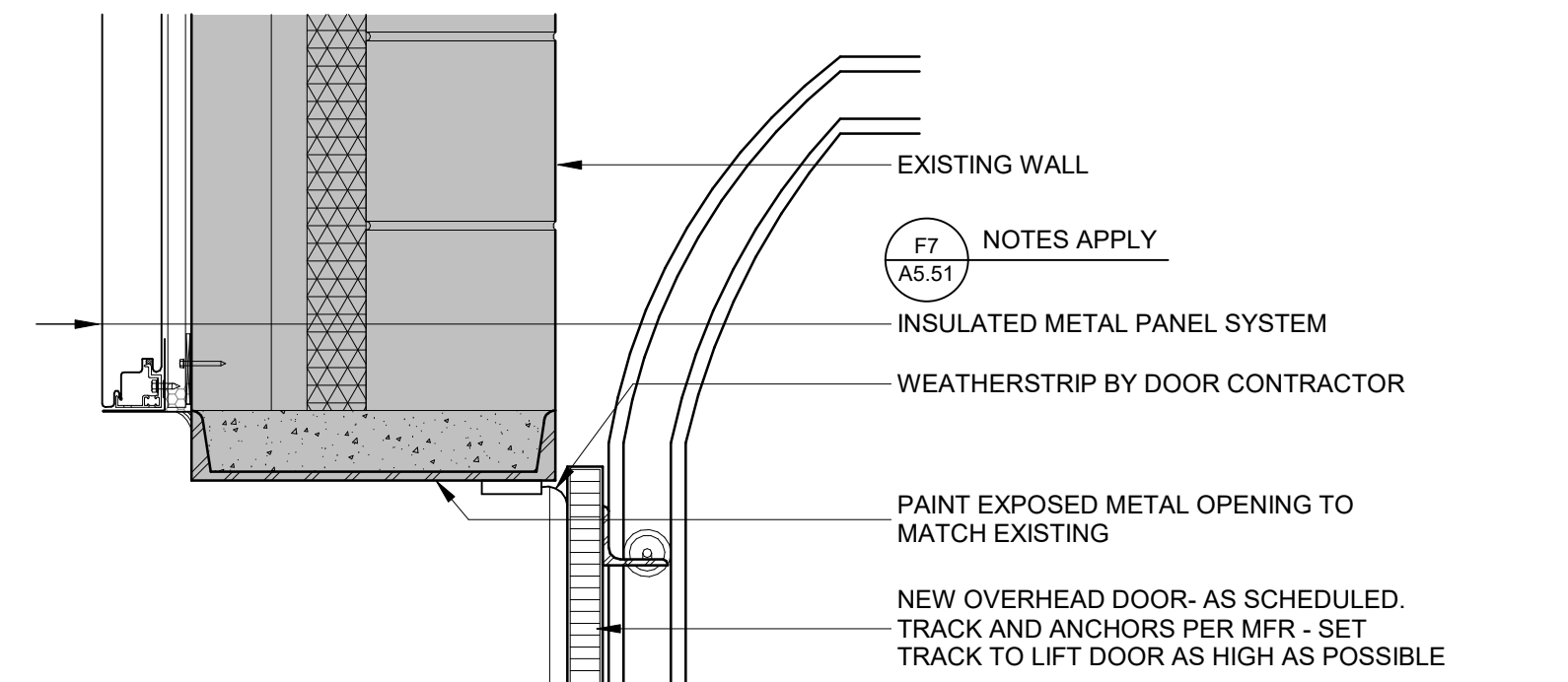
D1 METAL PANEL JAMB AT NEW HM DOOR - ALTERNATE #1
6" = 1'-0"



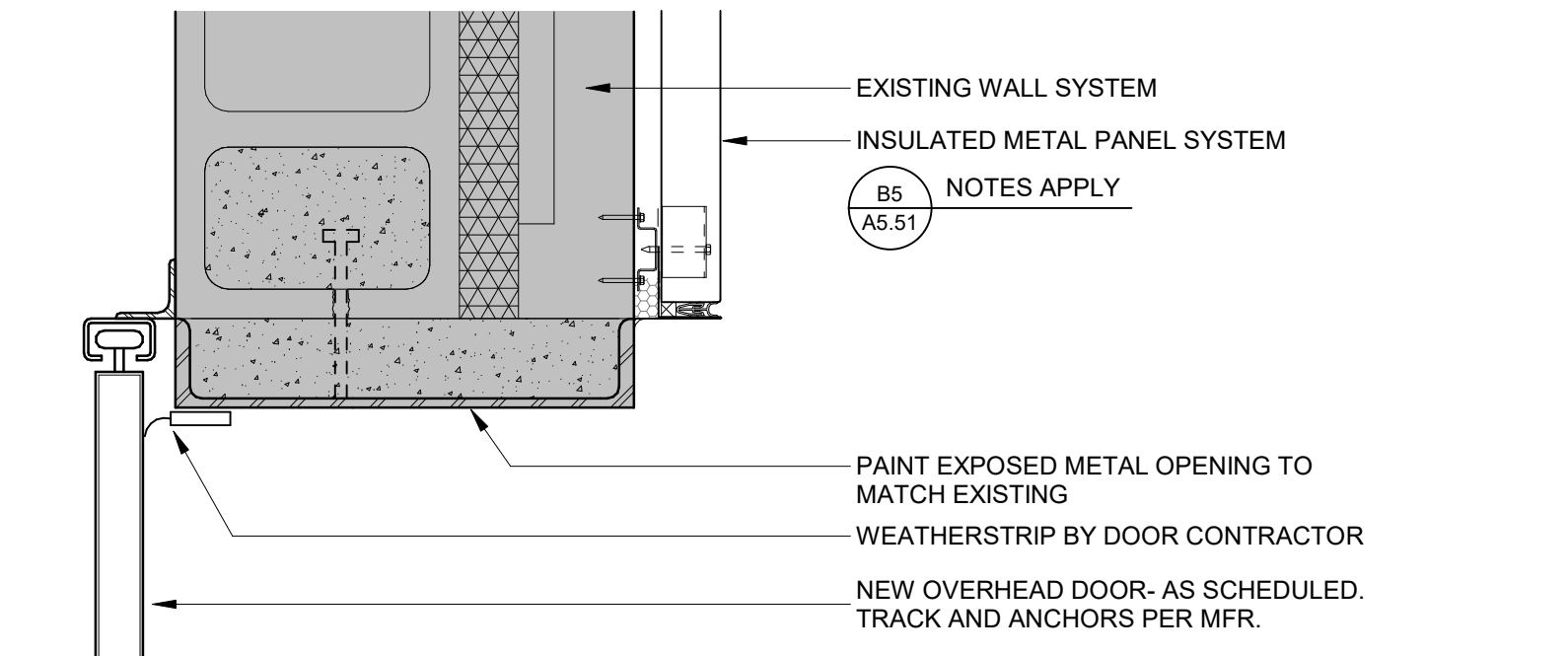
E1 EXT HM HEAD AND JAMB AT EXISTING MASONRY - ALTERNATE #1
3" = 1'-0"



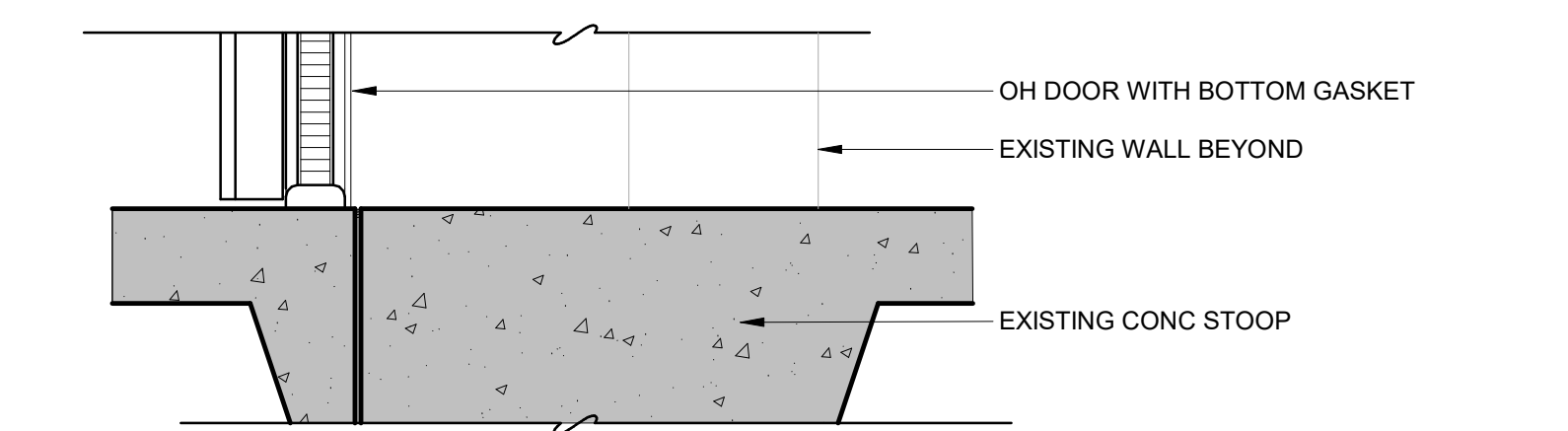
F1 NEW WINDOW SILL
6" = 1'-0"



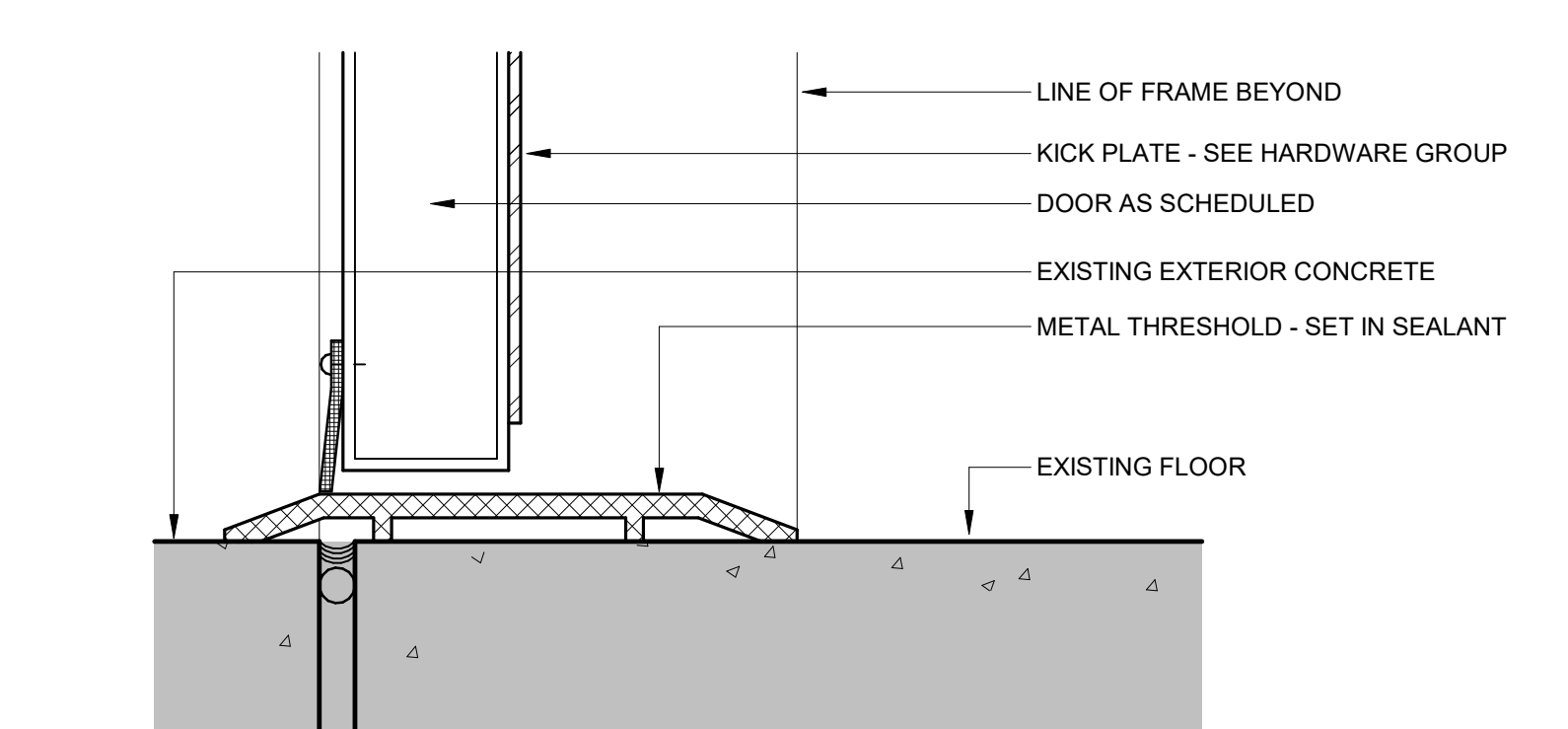
A4 EXT OH DOOR HEAD - ALTERNATE #1
1 1/2" = 1'-0"



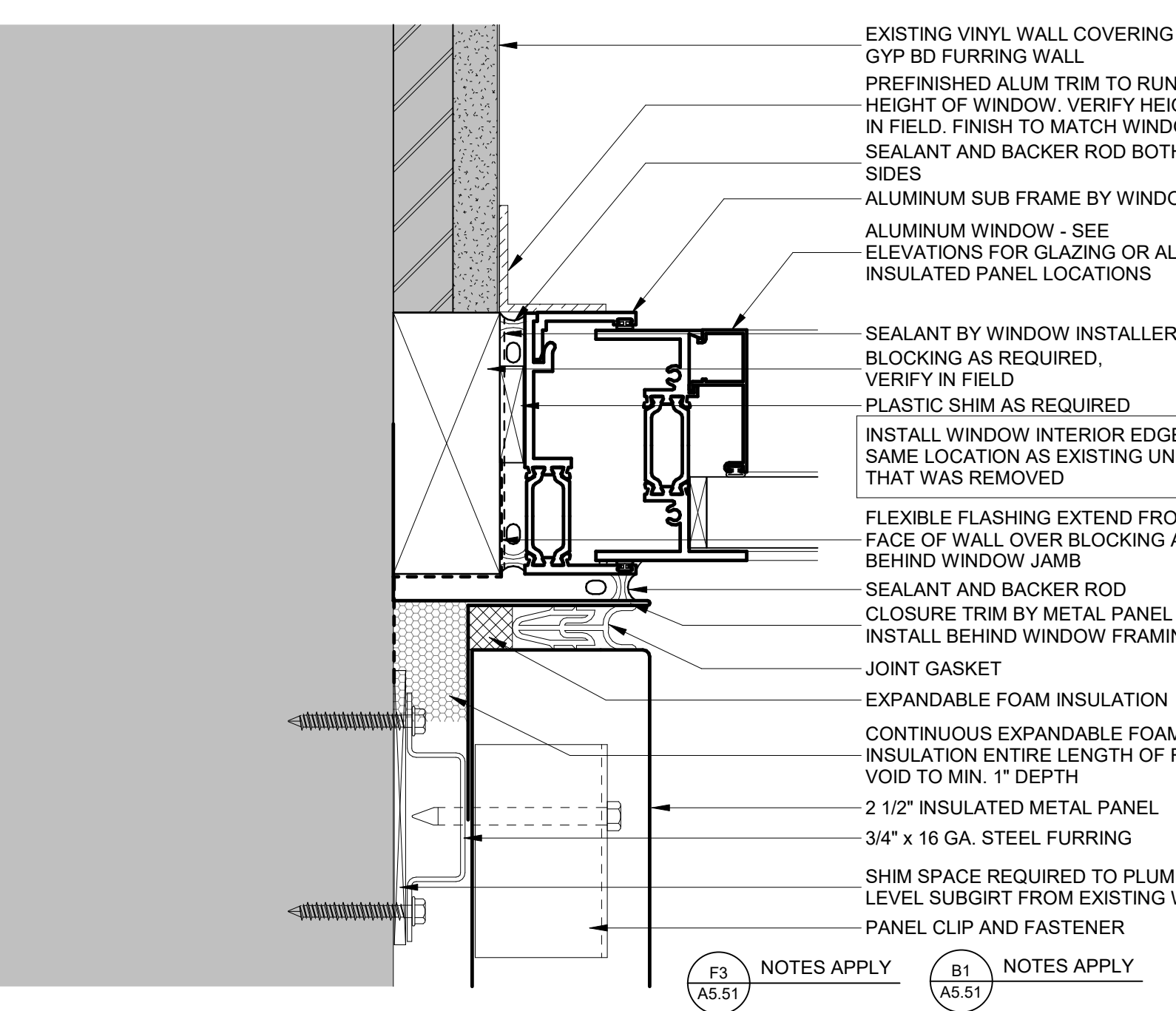
B4 EXT OH DOOR JAMB - ALTERNATE #1
1 1/2" = 1'-0"



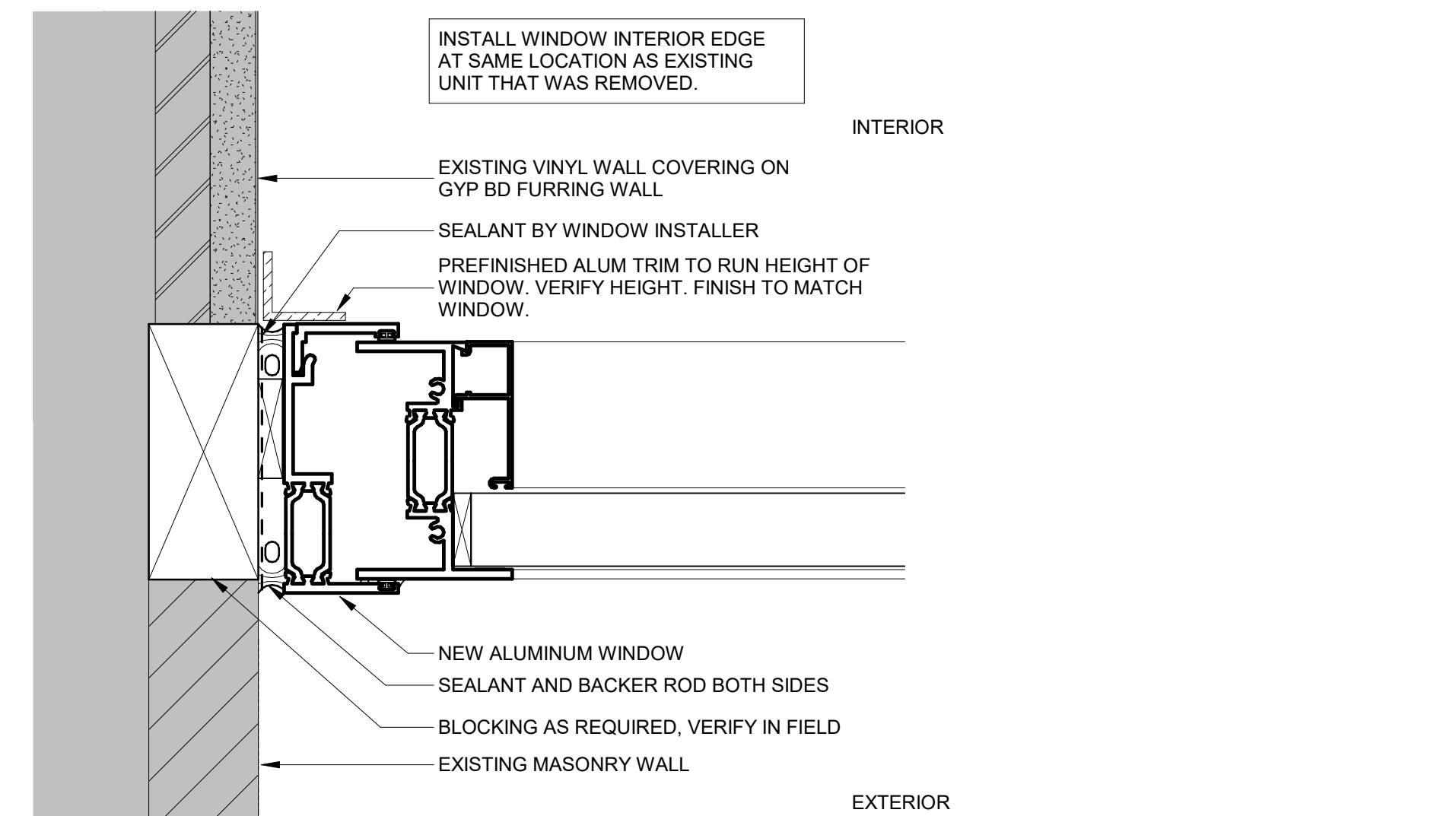
D4 EXT OH DOOR SILL - ALTERNATE #1
1 1/2" = 1'-0"



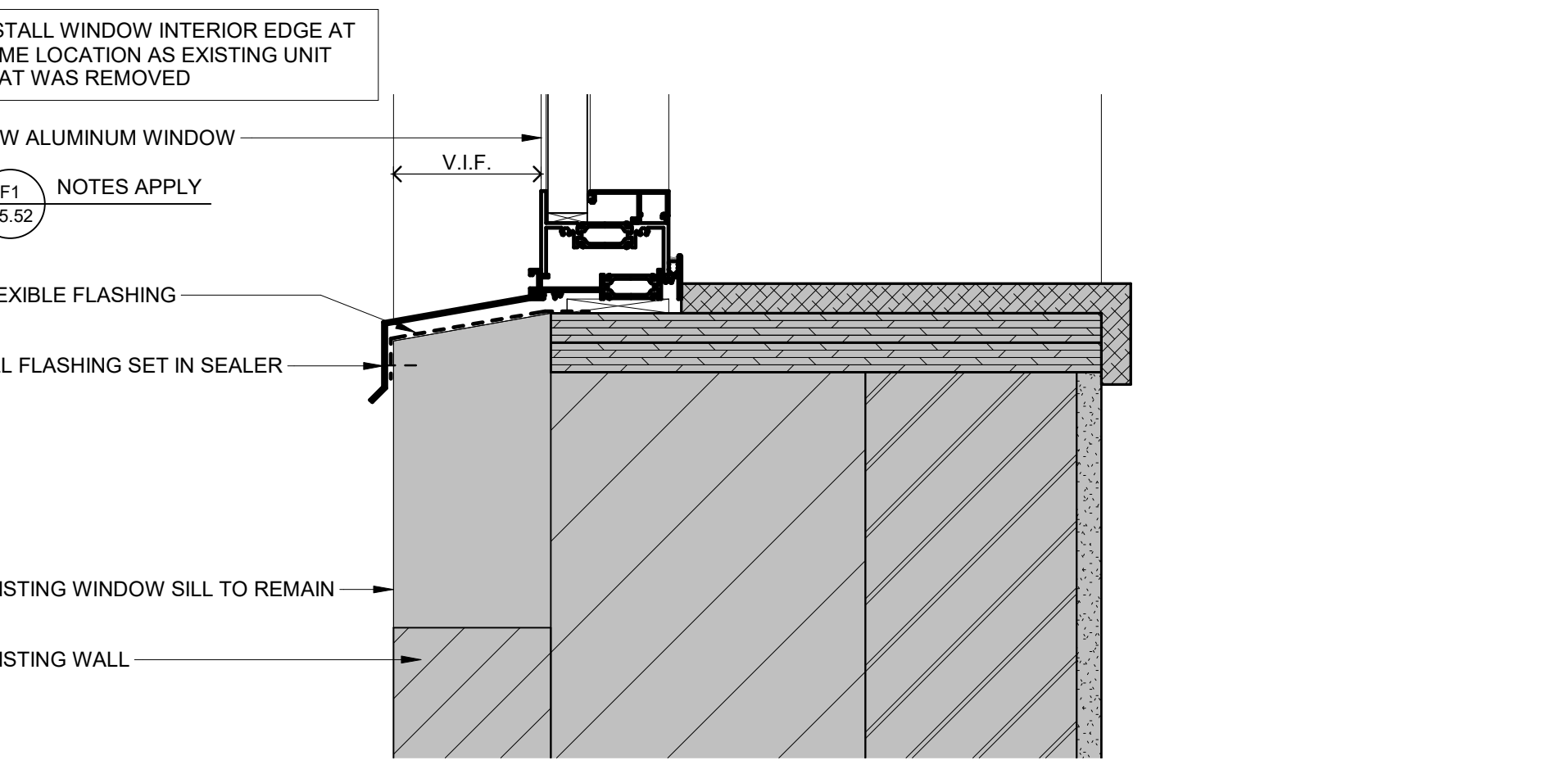
E4 NEW DOOR THRESHOLD - ALTERNATE #1
6" = 1'-0"



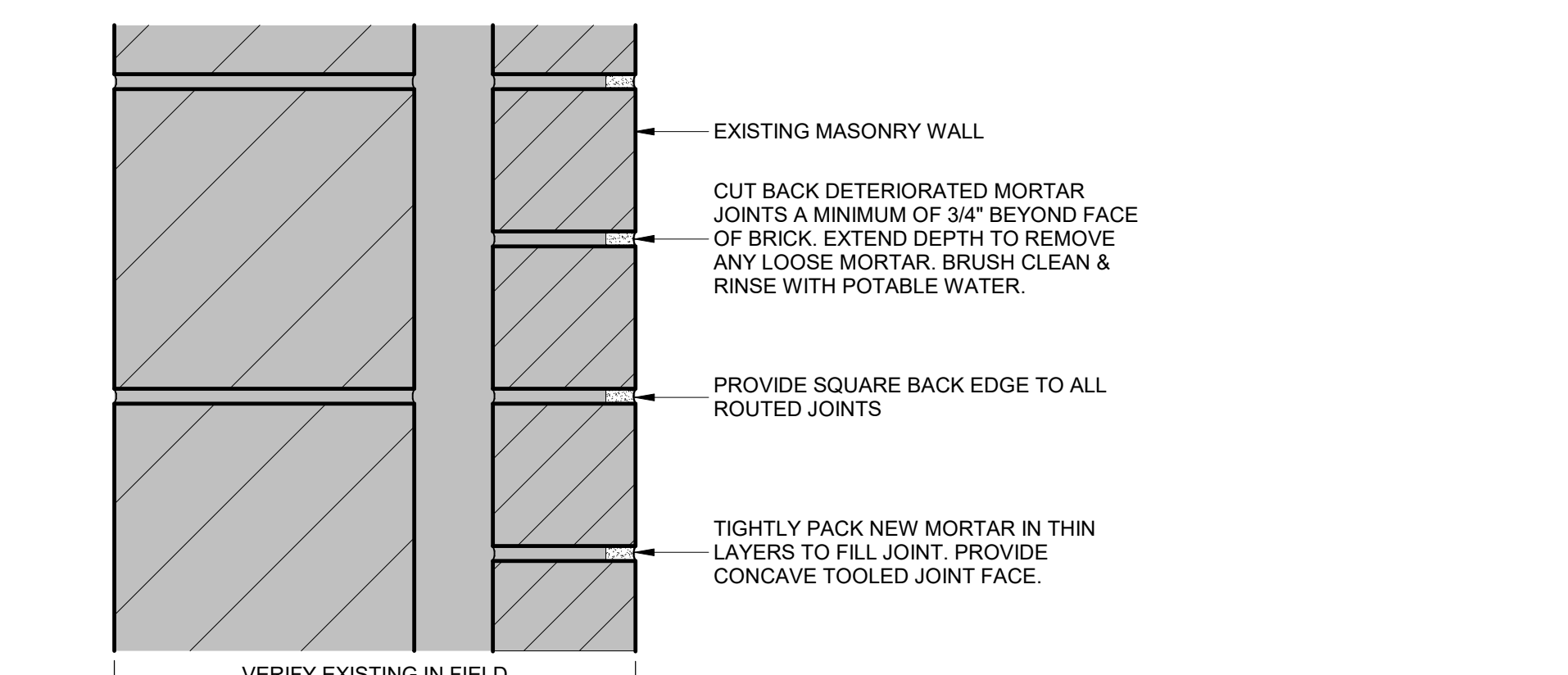
F4 NEW WINDOW JAMB
6" = 1'-0"



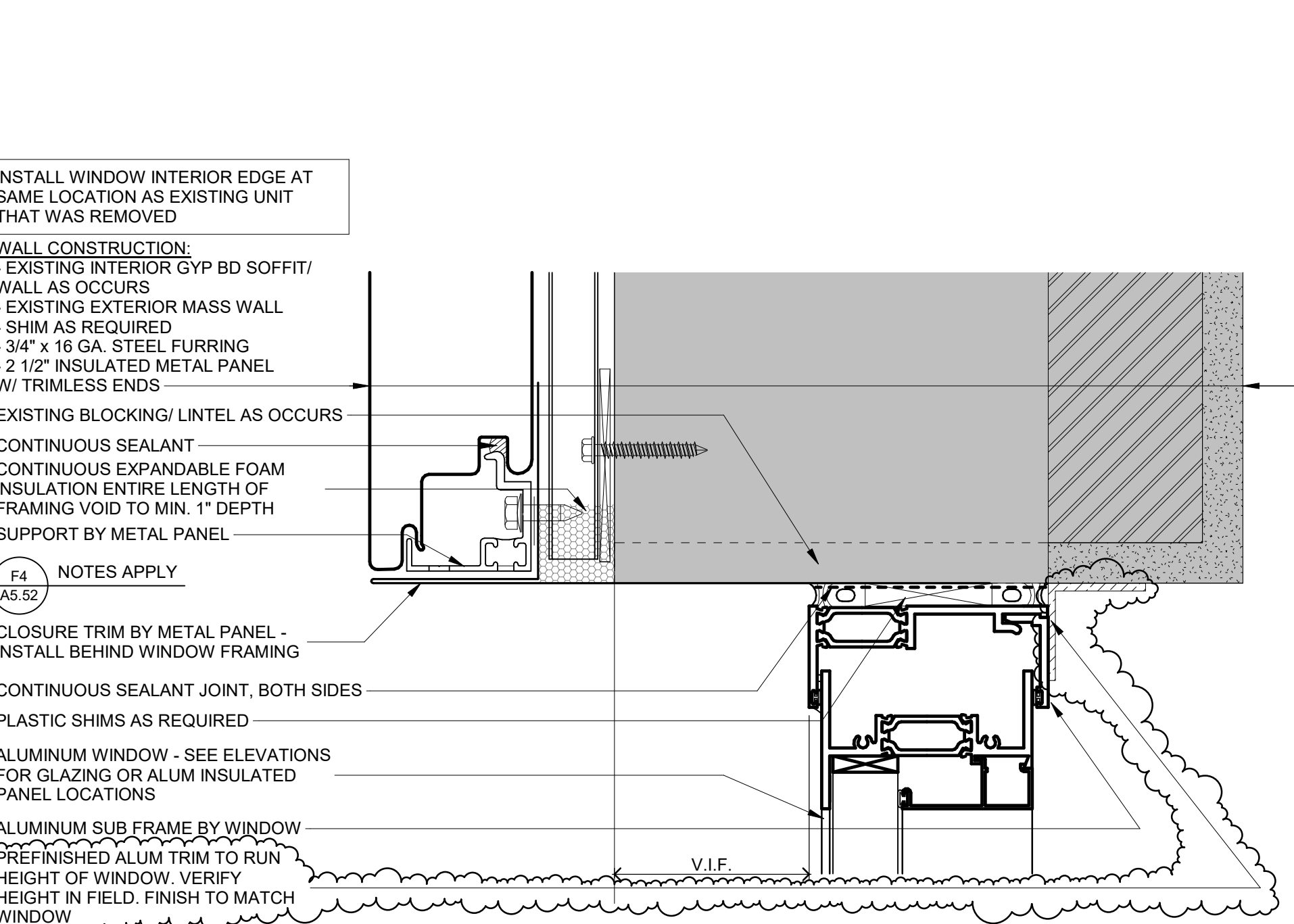
B6 WINDOW JAMB AT EXISTING MASONRY
6" = 1'-0"



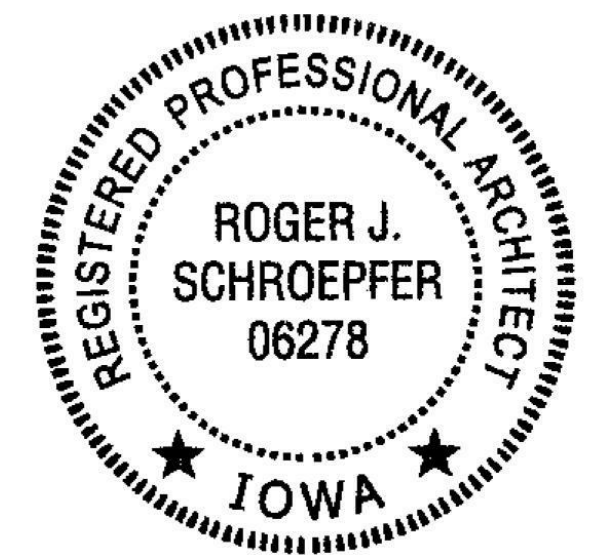
D6 NEW WINDOW SILL AT EXISTING MASONRY WALL
3" = 1'-0"



E6 MASONRY TUCKPOINTING SECTION
3" = 1'-0"



F6 NEW WINDOW HEAD
6" = 1'-0"



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of Iowa.

Roger Schroepfer
06278
Date: 10.04.2019

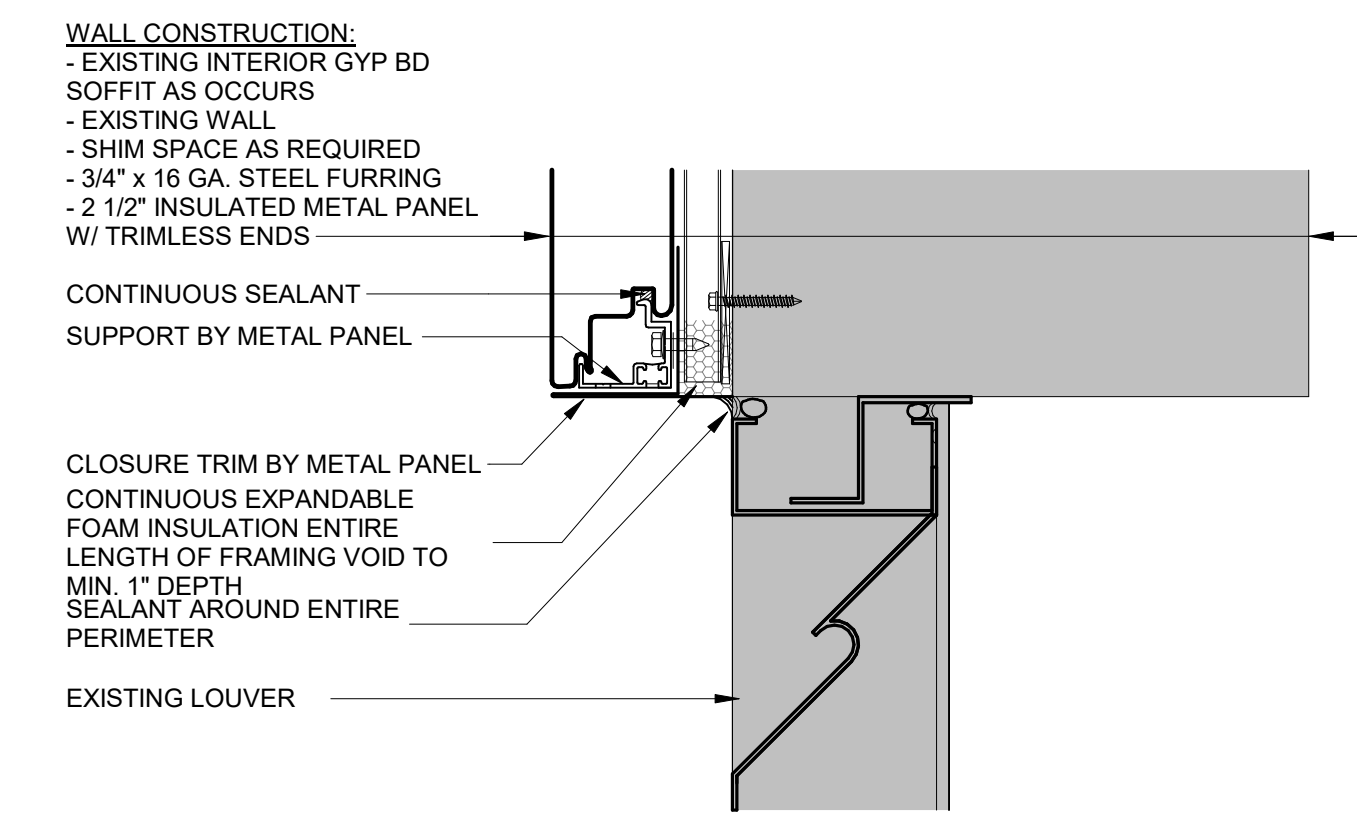
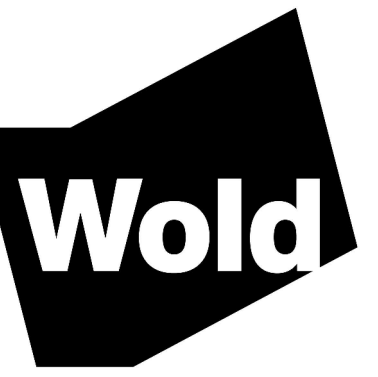
Description	Revisions	
	Date	Num
Addendum #1	10.23.2019	1

Comm: 193033
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Drawn: ACM
Check: KBE

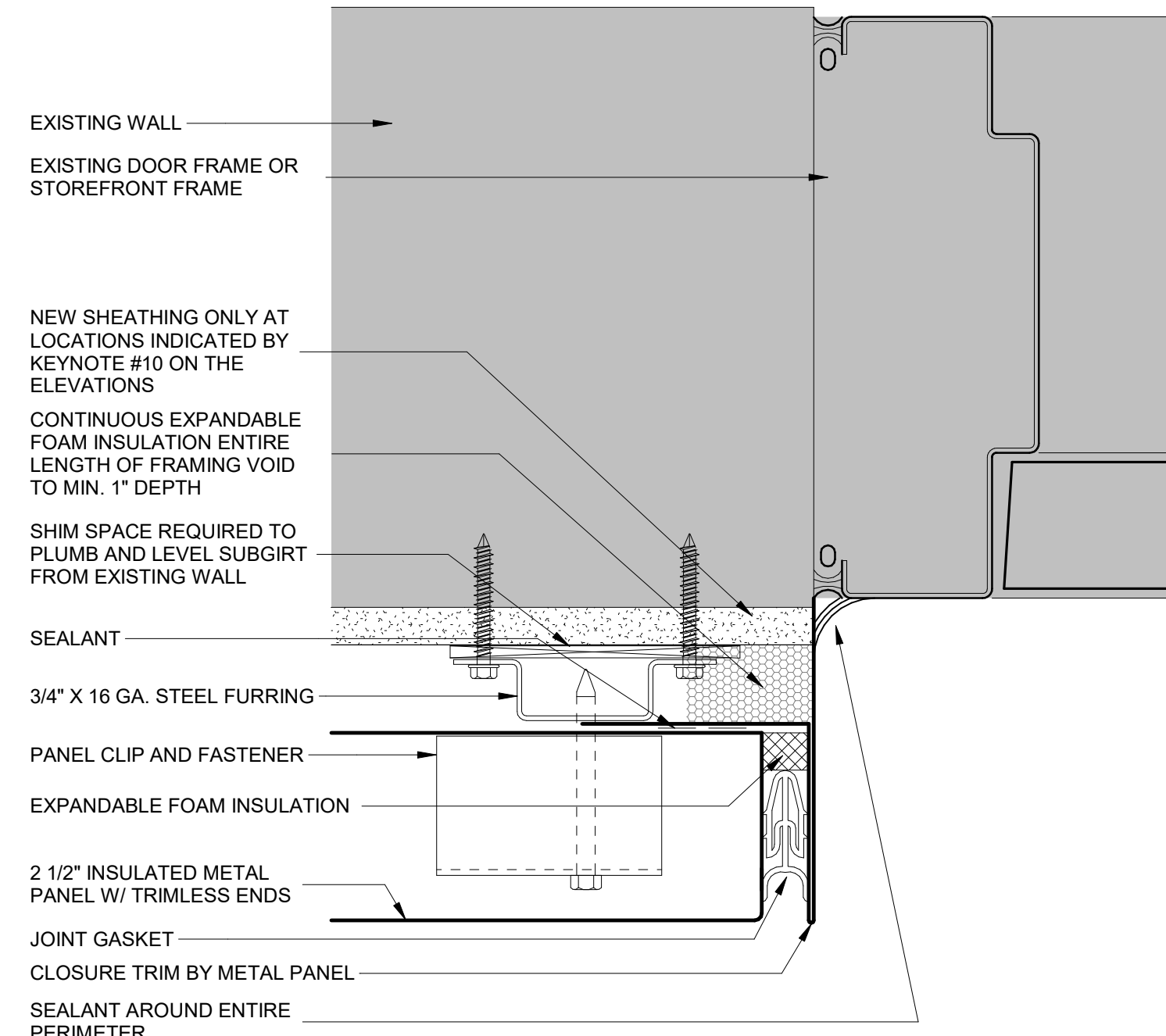
DETAILS

Scale: As indicated

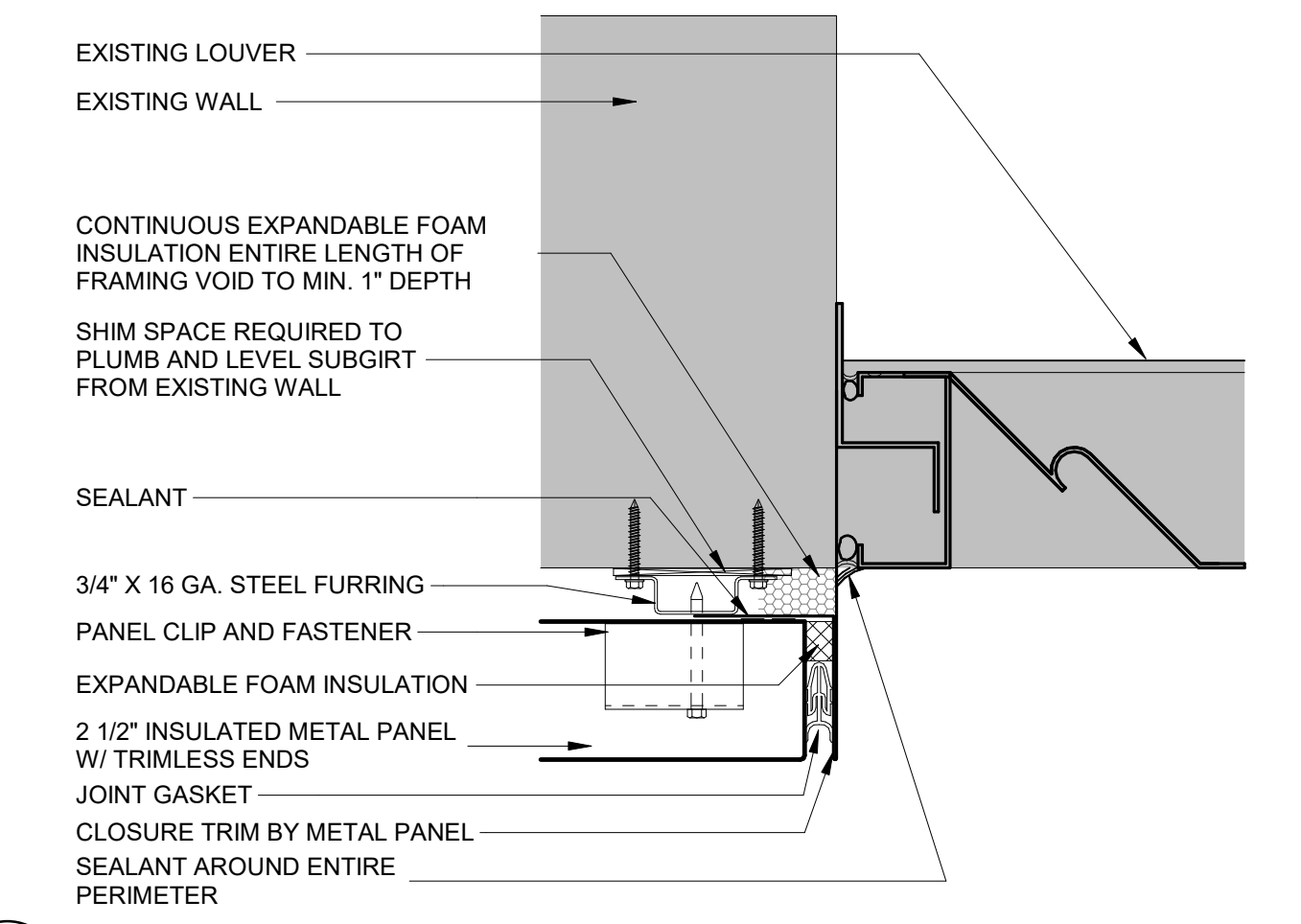
A5.52



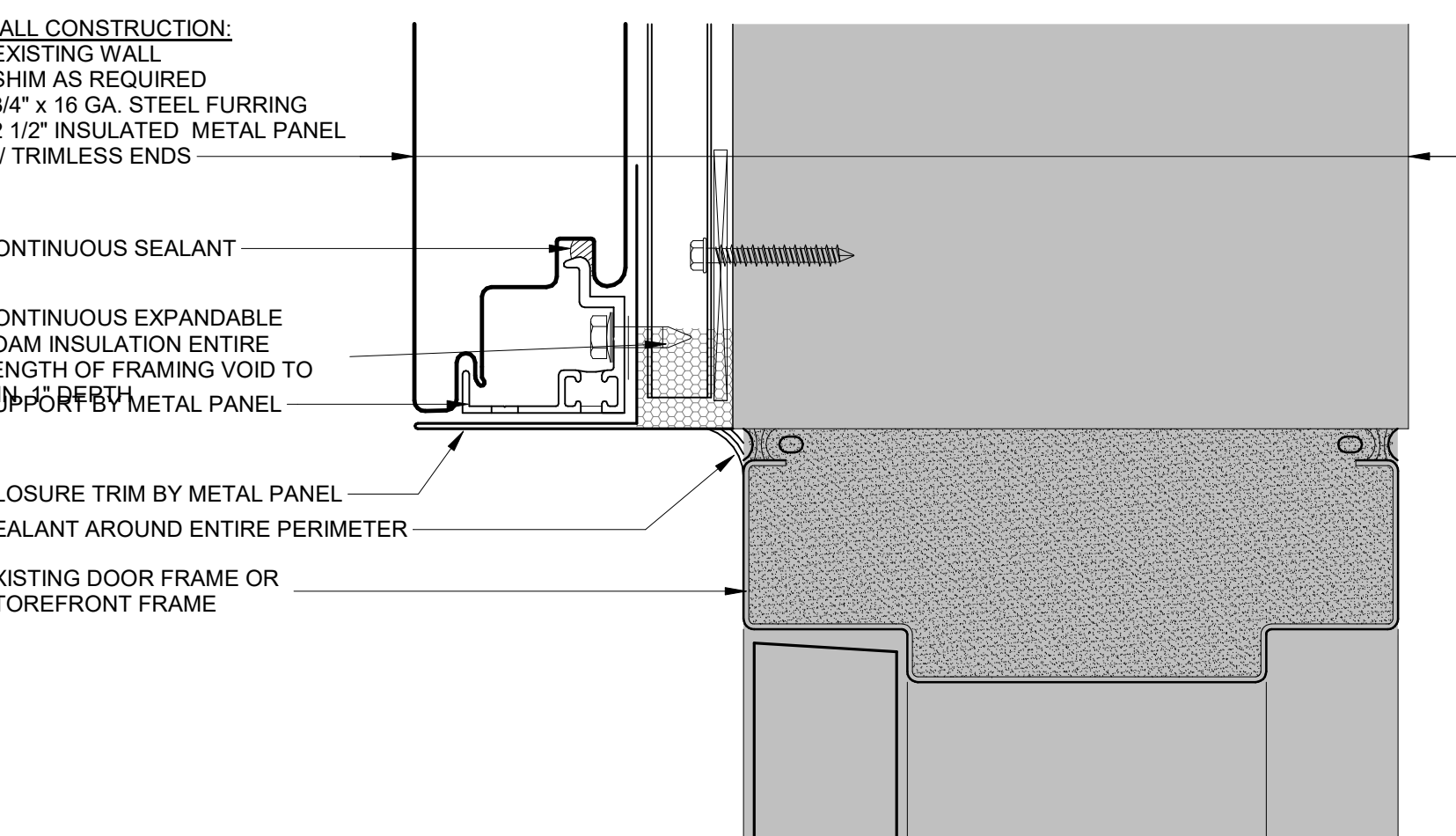
B1 METAL PANEL HEAD AT EXISTING LOUVER
3" = 1'-0"



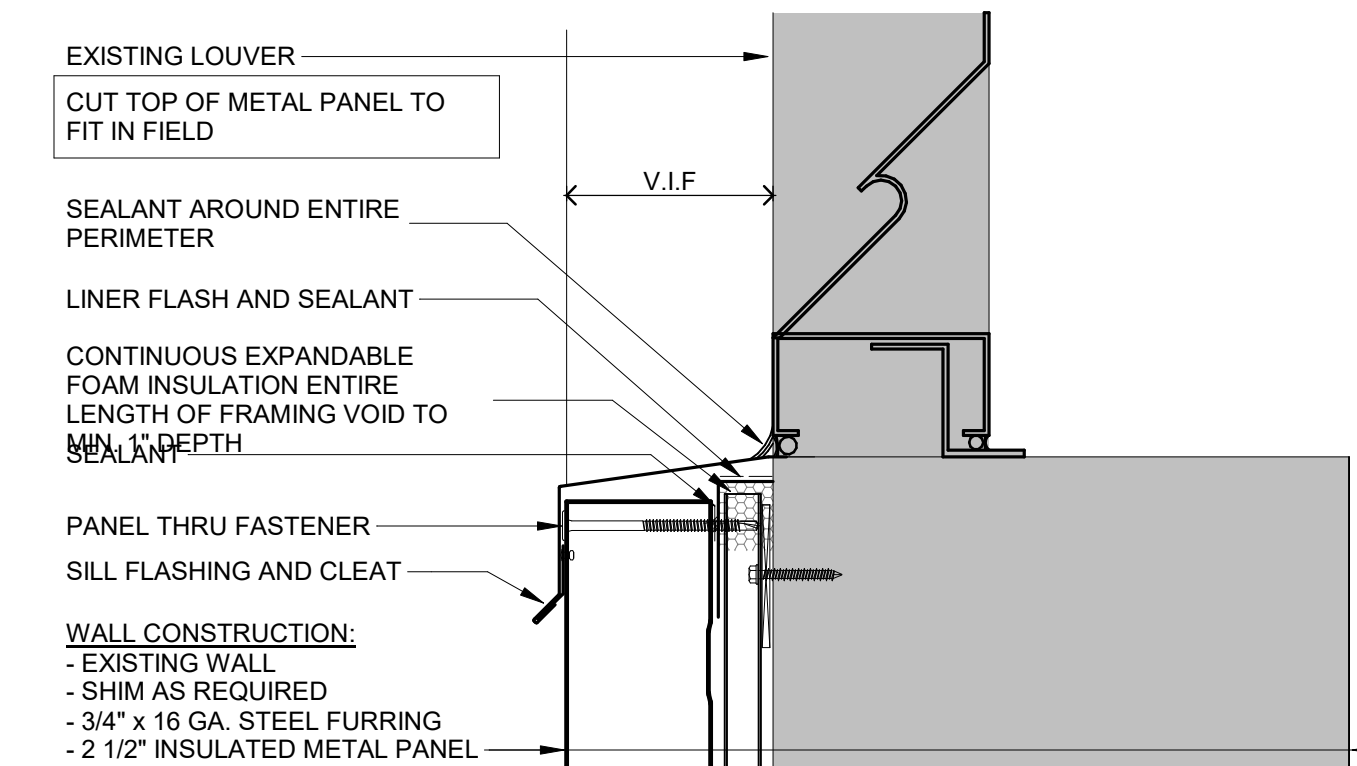
B3 METAL PANEL JAMB AT EXISTING DOOR - BASE BID
6" = 1'-0"



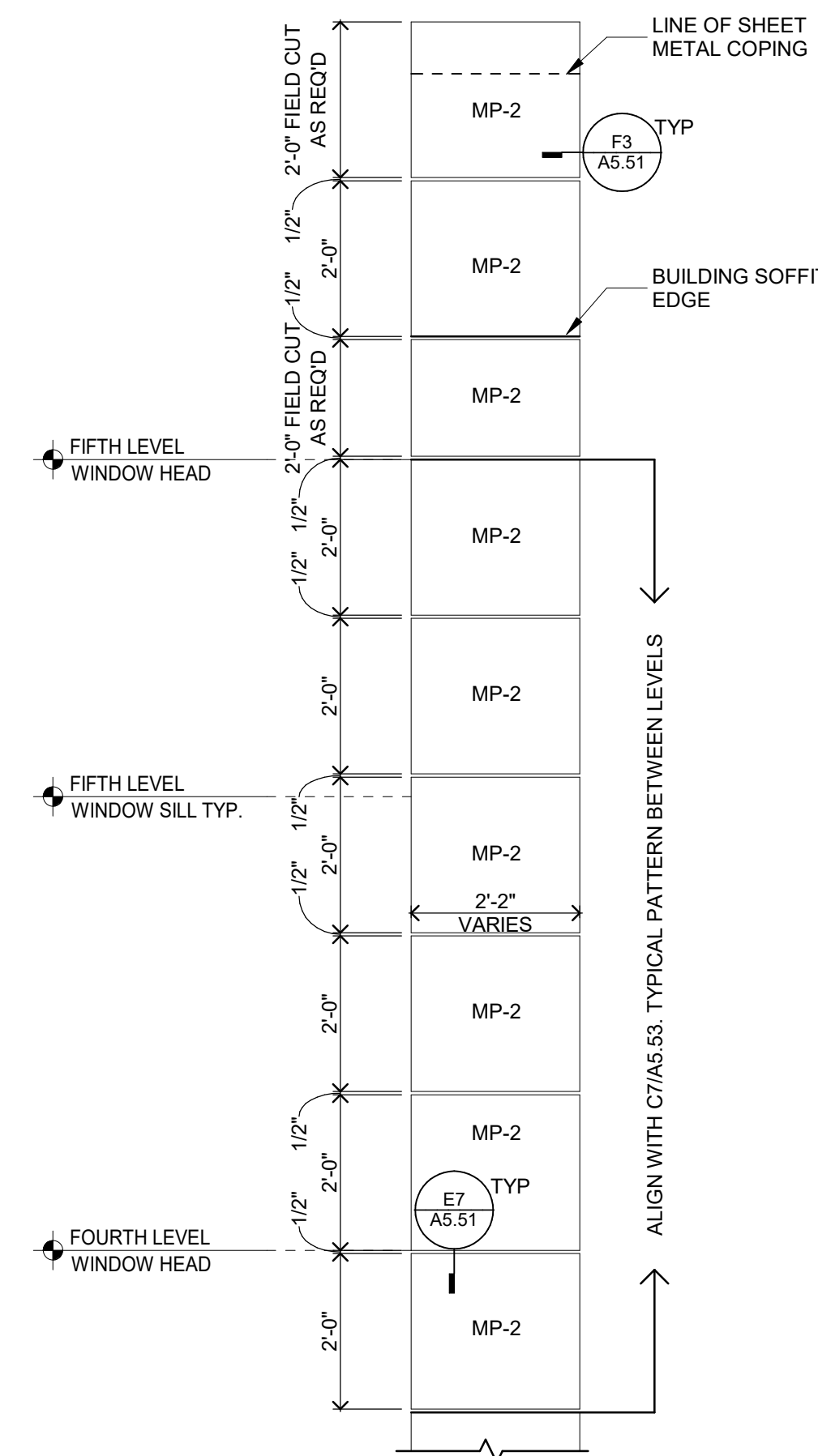
C1 METAL PANEL JAMB AT EXISTING LOUVER
3" = 1'-0"



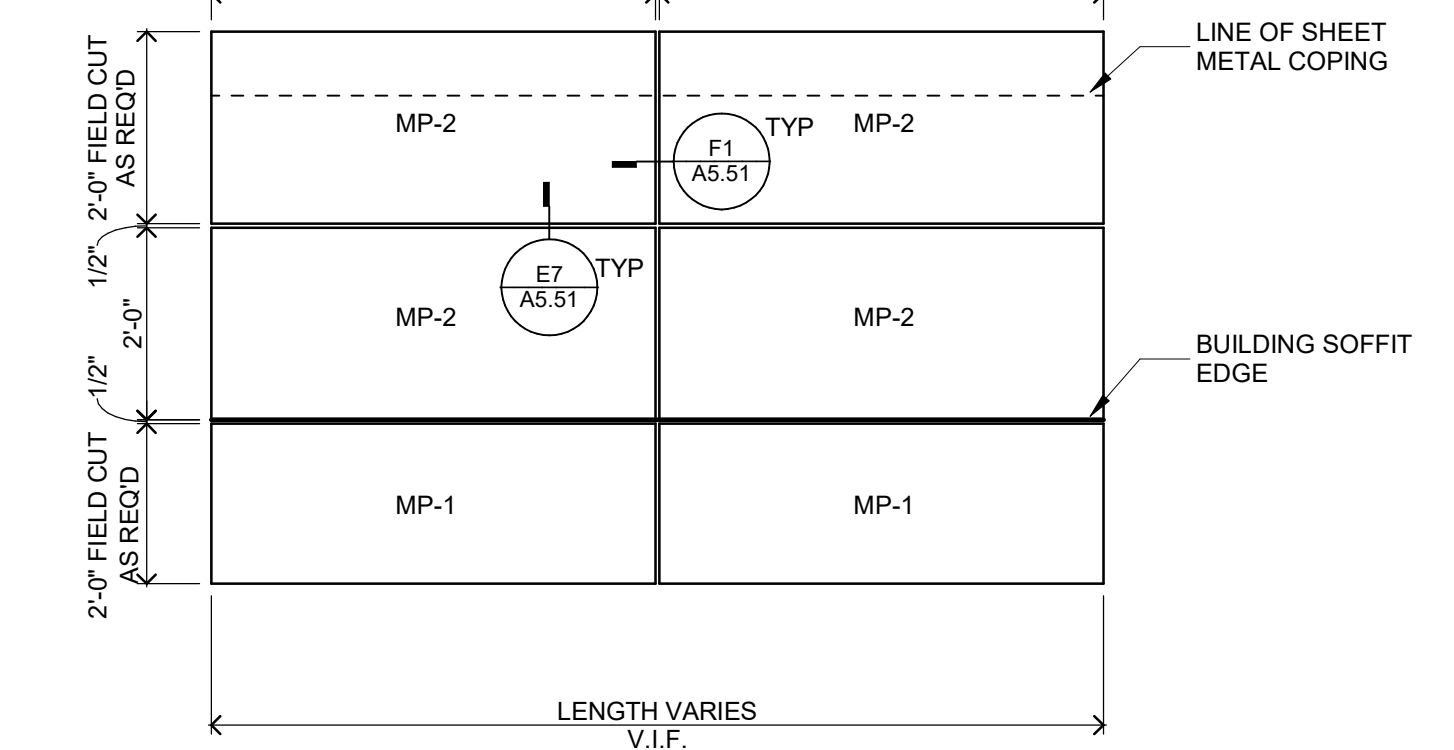
D3 METAL PANEL HEAD AT EXISTING DOOR - BASE BID
6" = 1'-0"



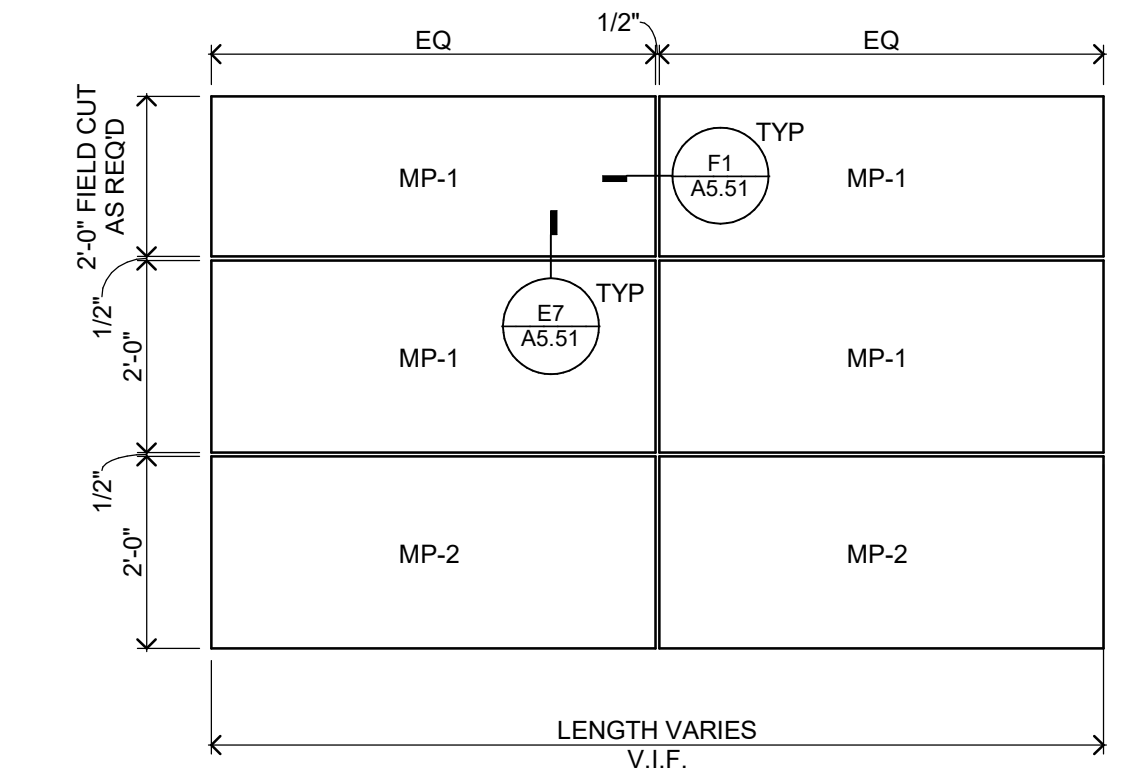
D1 METAL PANEL SILL AT EXISTING LOUVER
3" = 1'-0"



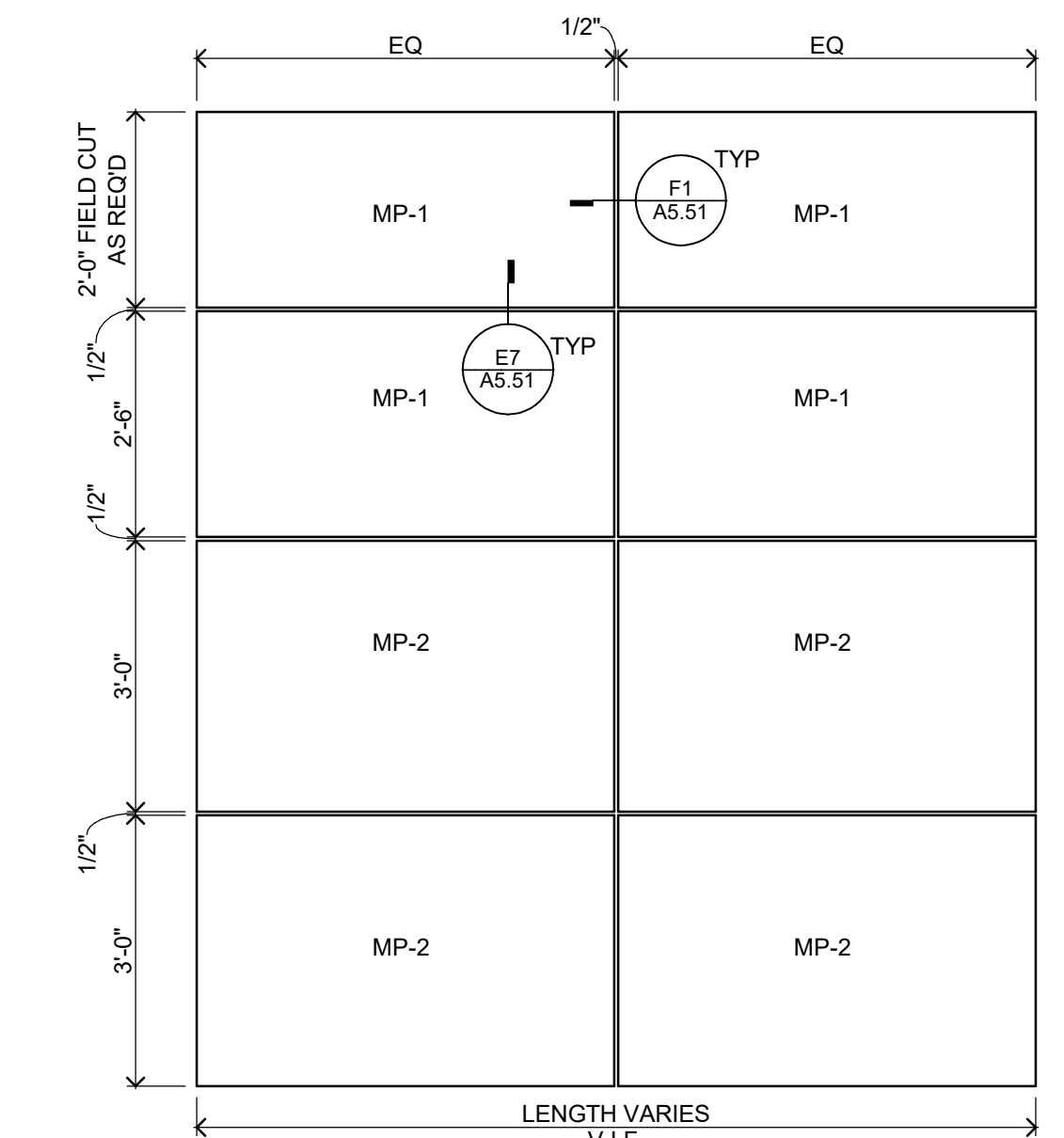
F5 METAL PANEL PATTERN AT COLUMNS
1/2" = 1'-0"



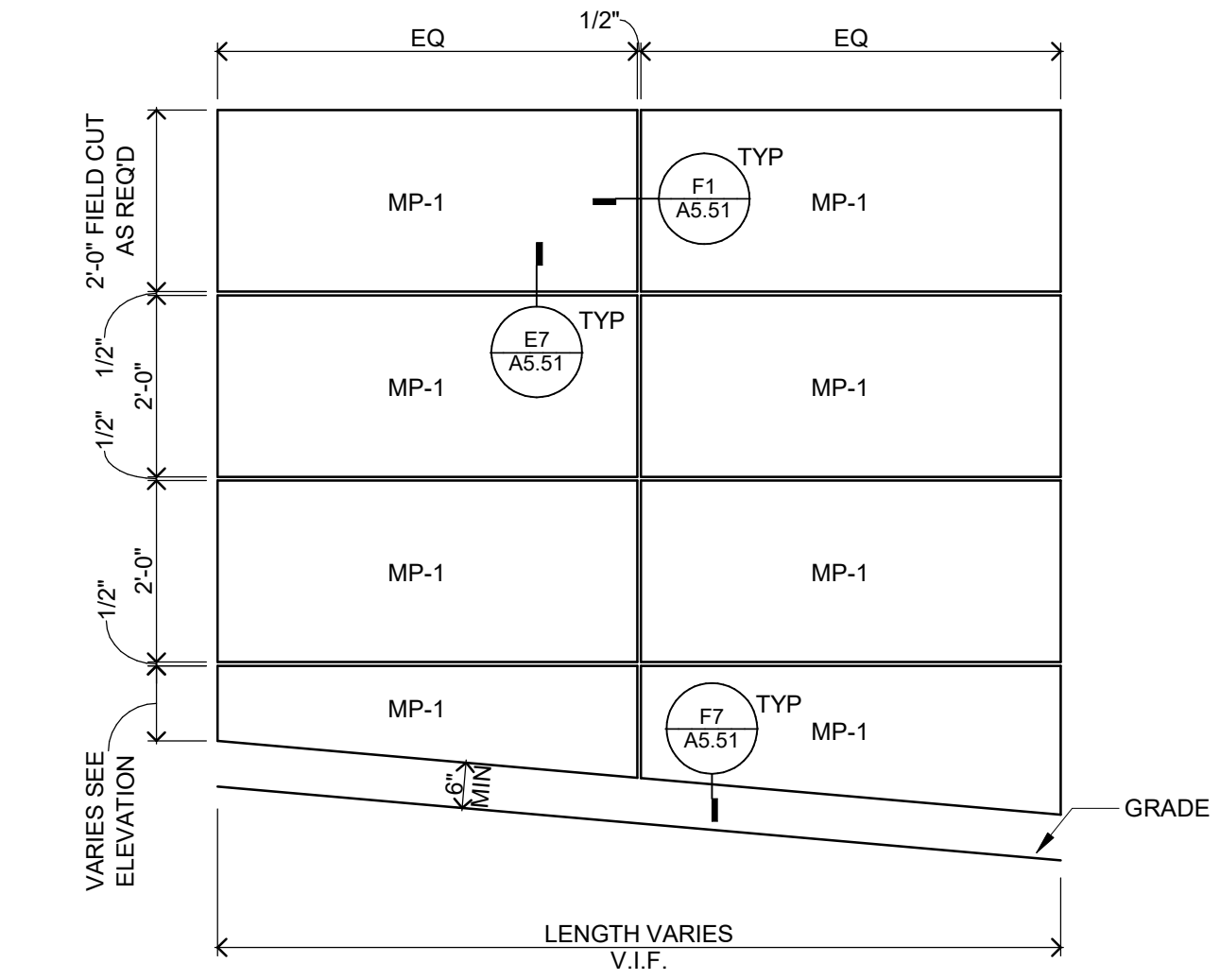
B7 METAL PANEL PATTERN AT BUILDING SOFFIT
1/2" = 1'-0"



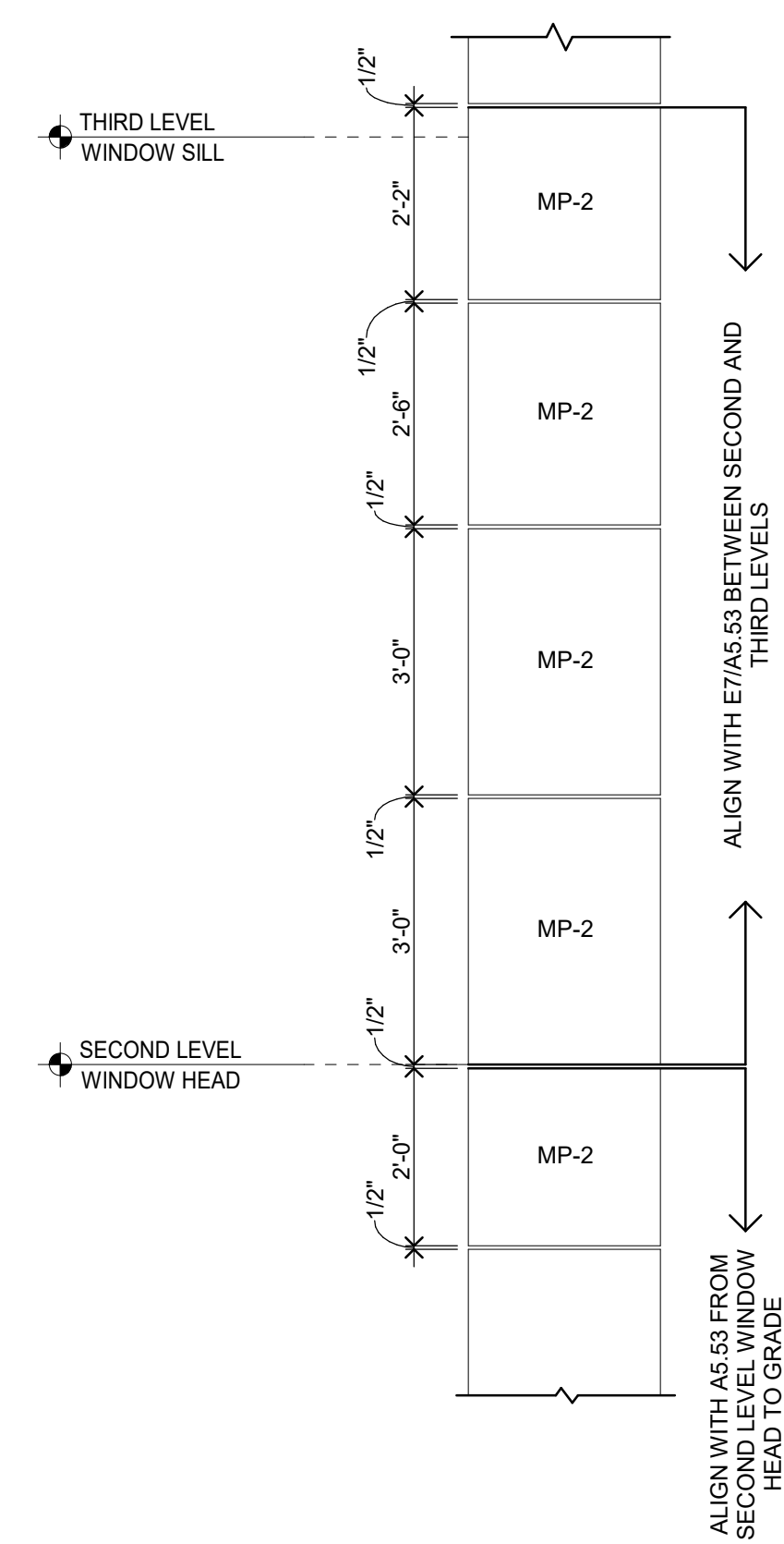
C7 TYPICAL METAL PANEL PATTERN
1/2" = 1'-0"



E7 METAL PANEL PATTERN BETWEEN 2ND AND 3RD FLOOR
1/2" = 1'-0"

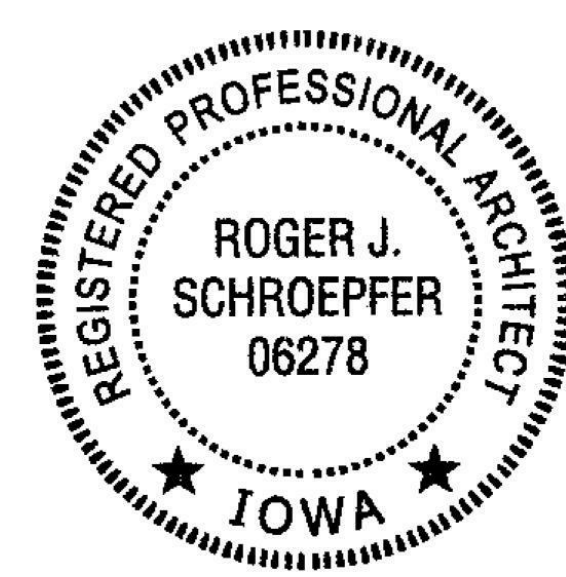


F7 METAL PANEL PATTERN BELOW 2ND FLOOR WINDOWS
1/2" = 1'-0"



F5 METAL PANEL PATTERN AT COLUMNS
1/2" = 1'-0"

2'-0" PANELS BELOW SECOND LEVEL WINDOWS UNTIL THE FINAL PANEL ABOVE GRADE. FINAL PANEL ABOVE GRADE VARIES. ALIGN WITH PATTERN ON COLUMNS.



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Roger Schroepfer
License Number: 06278 Date: 10.04.2019

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A5.53